



Staff Report

DATE: FEBRUARY 25, 2026
TO: CHAIR SHULTZ AND MEMBERS OF THE PLANNING COMMISSION
FROM: JOE PEREZ, ASSISTANT CITY MANAGER / COMMUNITY DEVELOPMENT DIRECTOR
BY: RENE AGUILAR, SENIOR PLANNER
SUBJECT: AGENDA ITEM NO. 5

PUBLIC HEARING TO CONSIDER MASTER APPLICATION (MA) NO. MA24351: CONDITIONAL USE PERMIT (CUP) NO. 24013 TO ALLOW THE MANUFACTURING OF COMMERCIAL BUSES WITHIN A NEW 85,570 SQUARE FOOT BUILDING LOCATED AT 5467 28TH STREET. (APN: 178-230-002); APPLICANT: FAUSTO REYES

RECOMMENDATION

That the Planning Commission conduct a public hearing and by motion, adopt Resolution No. PC-0007

1. Approving Conditional Use Permit (CUP) No. 24013 to allow the manufacturing of commercial buses within a new 85,570 square foot building located at 5467 28th Street; and
2. Finding that the project is exempt under California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 (Class 32: In-Fill Exemption) because the Project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designation and regulations and occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.

PROJECT DESCRIPTION

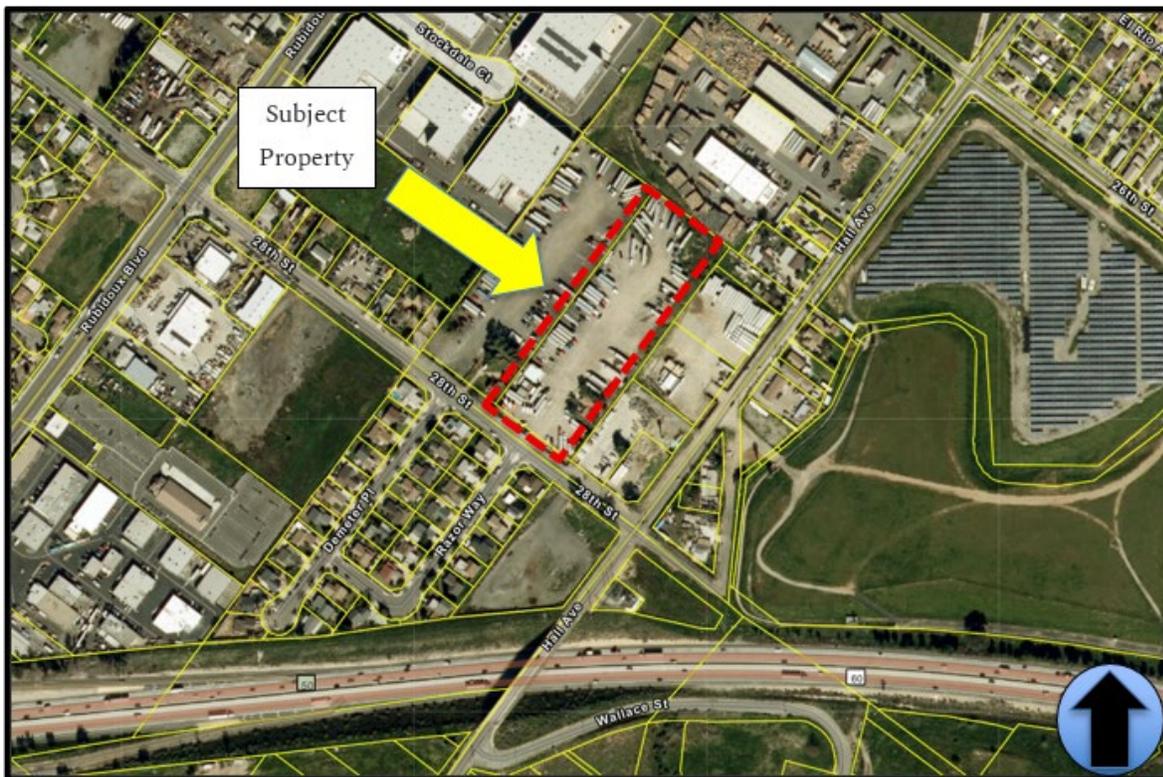
On December 26, 2024, a Conditional Use Permit (CUP) application was submitted requesting to allow the manufacturing of coach buses by Executive Coach Builders on a 4.68 acre-site located at 5467 28th Street. The site is currently improved with two single-family residences that will be demolished. The proposed Project includes the construction of an 85,570 square foot industrial building to be used for the fabrication, assembly, and finishing of coach buses and other site development. Once the coach bus is completed, an Executive Coach Builder employee will drive

it to their headquarters in the State of Missouri for storing or delivery to a purchaser. The coach buses will not remain on site.

This site would be an expansion for the company. Executive Coach Builders has operated for 45 years and is recognized as a leading manufacturer of transportation equipment in the United States. The vehicles produced are sold to nationally public and private schools, universities, community colleges, governmental agencies, law enforcement, and the general public. In 2016, Executive Coach Builders expanded their operations to California and operate within two separate locations in the City of Jurupa Valley. The existing site operations are located at 5495 Wilson Street and 2200 Fleetwood Drive. Executive Coach Builders' operations have outgrown the two locations and it is not efficient. With this new Project, the intent is to consolidate the operations at this new Project location. The average cost of an executive coach bus is about \$400,000.00 and the applicant is expecting to produce 4 – 5 coach buses a week. The sale of these coach buses will be exclusively wholesale only. (See Attachment 3: Project Narrative)

See Exhibit A for an aerial of the project location and Exhibit C for the proposed site plan.

EXHIBIT A: PROJECT SITE



The property has a General Plan Land Use Designation of Light Industrial (LI), which is consistent with its underlying zone of Manufacturing-Service Commercial (M-SC). Per Chapter 9.148.020 – Manufacturing-Service Commercial (M-SC) of the Jurupa Valley Municipal Code, recreational vehicles manufacture is permitted with the approval of a CUP.

TABLE 1: GENERAL PROJECT INFORMATION	
ASSESSOR'S PARCEL NUMBER	178-230-002
PROJECT SITE ACREAGE	4.68 acres
GENERAL PLAN LAND USE DESIGNATION	Light Industrial (LI)
ZONING CLASSIFICATION	Manufacturing-Service Commercial (M-SC)
PROPOSAL	New Manufacturing Use & Development for Coach Buses

EXHIBIT B: LAND USE AND ZONING

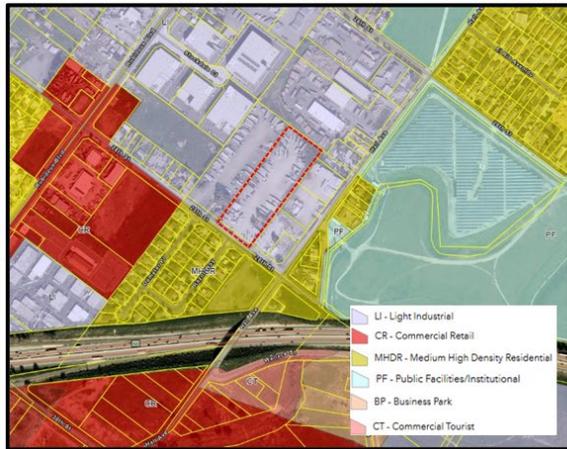
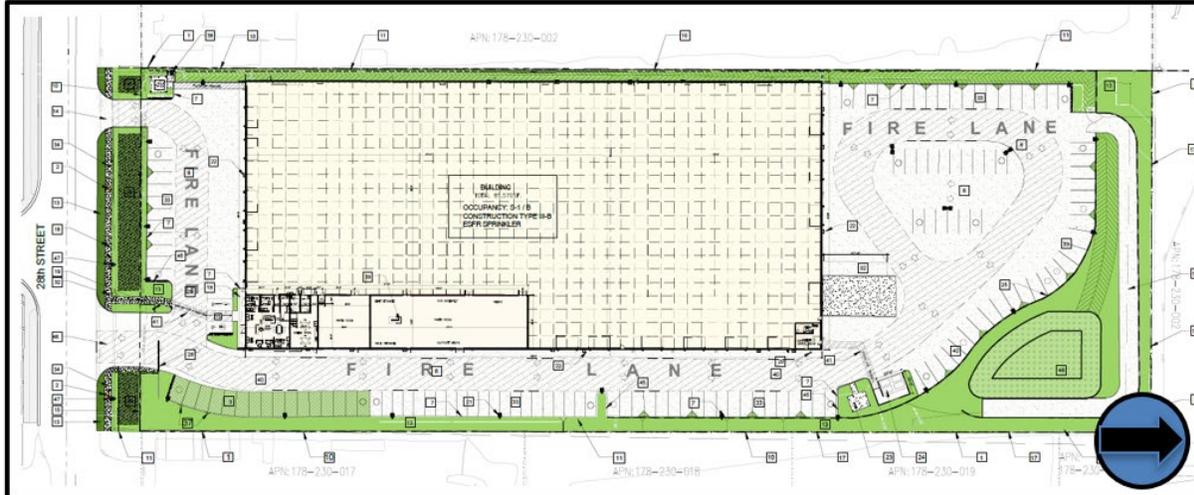


EXHIBIT C: SITE PLAN



Circulation and Access

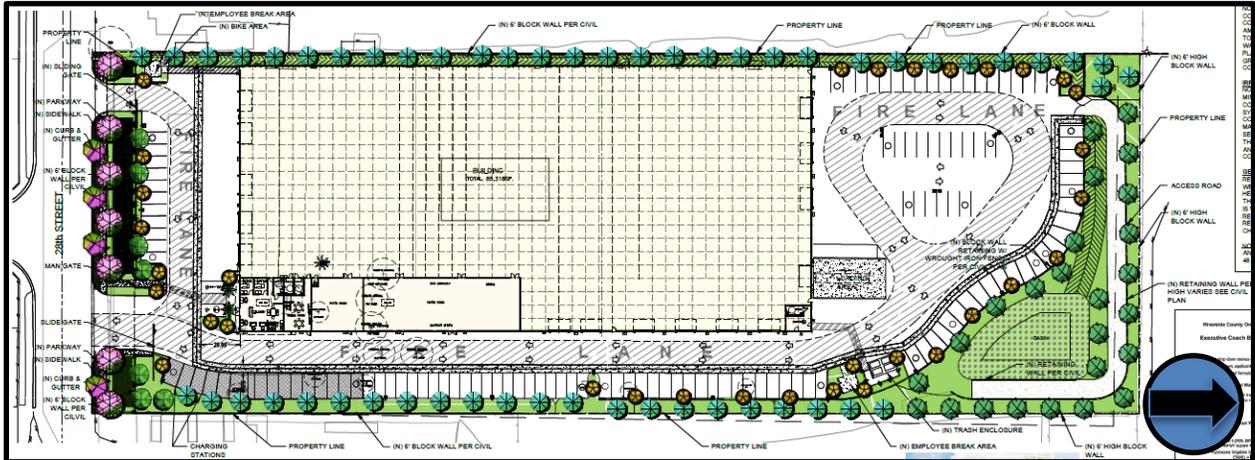
Access to the site would be provided from 28th Street. The building is situated in the western portion of the rectangular lot. The Project proposes two driveway entrances; one of the proposed driveways is for emergency vehicle access only. The main driveway measures 24 feet wide and provides vehicular access for employees and service vehicles. A condition of approval would require incorporation of design enhancements such as decorative paving to all driveways. At the rear of the lot, there is sufficient width for emergency vehicles, including turning point requirements by the CalFire. Pedestrian access has been accommodated from the front of the lot to the rear. The project provides ADA accessible parking and ADA travel path. The Project exceeds the minimum parking spaces requirement of 113 parking stalls by providing 126. There are parking stalls proposed throughout the site. The Project has a detention basin at the northeastern part of the property to comply with drainage requirements.

Street Improvements

The Project includes frontage improvements along 28th Street. The improvements include two 20-foot driveway aprons, 5-foot-wide landscape strip, 5-foot-wide sidewalk, 6-inch concrete curb, and gutter improvements. The Project includes right-of-way landscaping consisting of eleven (11) trees, shrubs, and ground covers. The Engineering Department confirmed that all of the street improvements proposed will comply with Engineering standards.



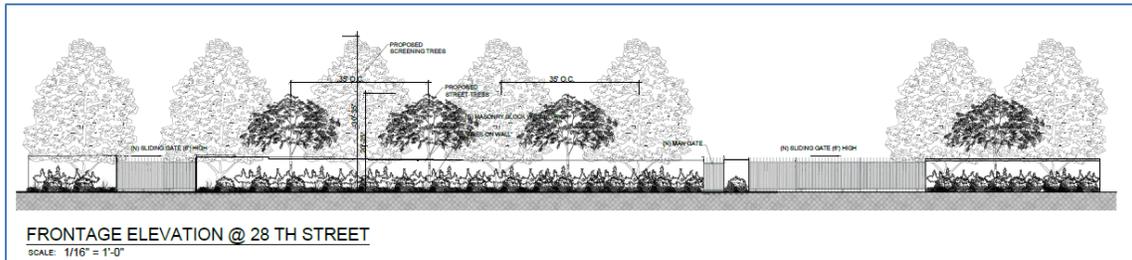
EXHIBIT C: LANDSCAPING PLAN



Landscaping

The site has adequate landscaping to enhance the site’s aesthetics, provide visual screening, and comply with the landscaping and water efficiency standards. Landscaping is provided along the Project frontage, parking areas, and the perimeter boundaries. The Project proposes drought-tolerant and low-water-use trees, shrubs, and ground covers. The landscape plan proposed a combination of 24-inch, 36-inch, and 48-inch boxes distributed throughout the site. Seven (7) 36-inch box Afghan pine and five (5) desert willow trees are proposed at the front of the property. The eastern and western side include a total of fifty-eight (58) African Sumac trees in 36-inch and 48-inch box sizes to provide perimeter screening. Thirty-three (33) 24-inch red crape myrtle trees are proposed around the parking lot stalls to provide shade. Additionally, twenty-two (22) 36-inch Australian willow trees are proposed at the rear of the property site.

EXHIBIT D: FRONTAGE ELVATION



Walls and Fences

The Project includes perimeter fencing and walls designed to provide site security, screening, and ensure compatibility with the surrounding properties. Along the front of the property, a 6-foot



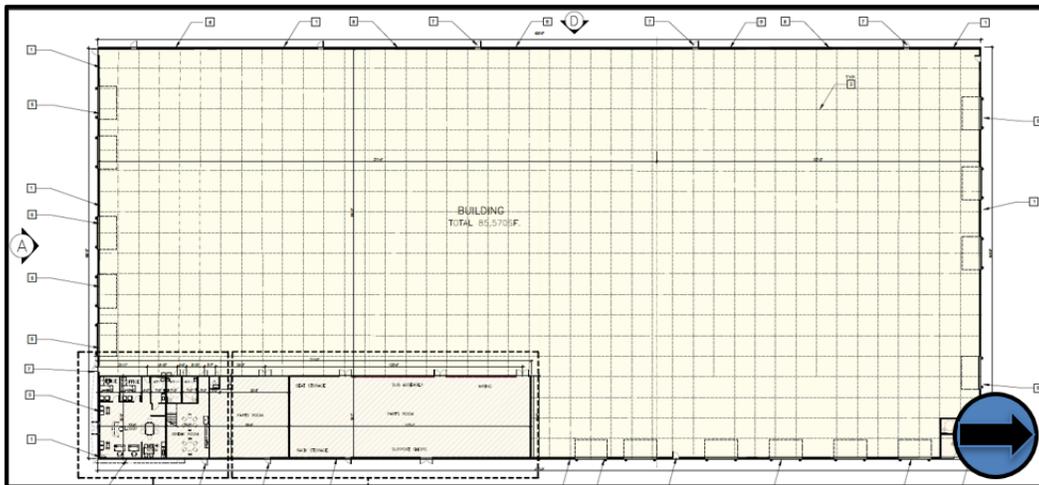
masonry split face block is proposed. Along the side and rear property lines, a combination of decorative masonry walls and metal tubular fencing is proposed to secure the site and break the massing of walls. The walls and fences will be integrated with landscaping to soften visual impacts.

Operations

The hours of operation will be from 6:00 a.m. to 7:00 p.m. and office hours from 8:00 a.m. – 5:00 p.m. There are 63 skilled craftsmen employed at their existing operations center(s). It is expected that this location would complete 4 – 5 coach buses per week.

The proposed use will operate in an assembly-line format. Bus chassis are delivered to the site and sequentially moved through designed assembly stations, where various components are installed/assembled and finished. The building will include roll-up doors to provide circulation of the chassis through the designed assembly stations. Each station contributes to the fabrication process, resulting in the assembly of a completed luxury coach bus that will not remain on-site after completion. A driver will drive the coach bus to their headquarters in Missouri.

EXHIBIT E: FLOOR PLAN



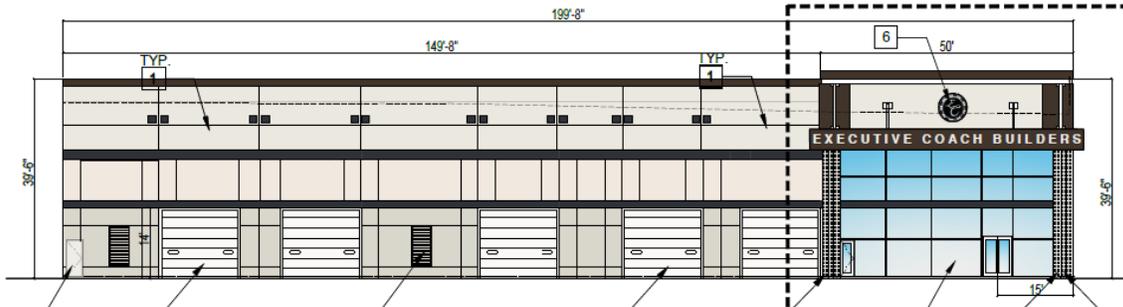
Building Architecture

The building features a 39-foot, 6-inch-tall single-story concrete tilt-up industrial building with architectural articulation to soften the mass of the building. The entrance to the site features large blue tempered vision glass and an area to accommodate a future wall sign. The building features brown earth tone colors.

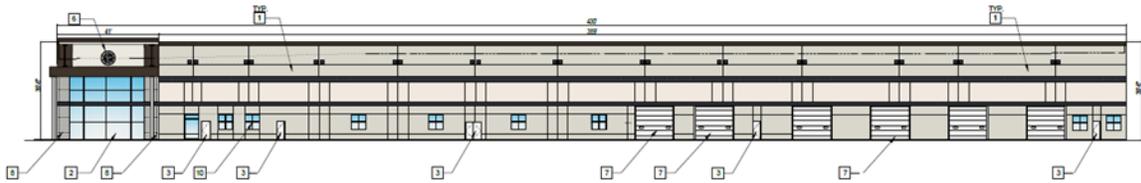


EXHIBIT F: ELEVATIONS

South Elevation



East Elevation



ANALYSIS

The project is consistent with the General Plan and the municipal code including the M-SC zone.

- A. ENVIRONMENTAL REVIEW.** It is determined that the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15332 In-Fill Exemption.
- B. GENERAL PLAN.** The project is consistent with the General Plan including implementing General Plan policies by (1) accommodating development of new industrial and manufacturing uses; (2) employee facilities such as on-site lunch areas with a patio cover; (3) providing new street improvements on 28th Street; and (4) new infrastructure including adequate parking, sidewalks, street trees, water and sewer lines.
- C. TITLE 9 PLANNING AND ZONING.** The project complies with applicable development standards such as setbacks, height, parking, trash collection, and site lighting. The proposed manufacturing of commercial buses use requires a CUP and the project meets all the findings for the approval as outlined in the Resolution. (Attachment 1)



NOTICING REQUIREMENTS

Public hearing notices were sent to surrounding property owners within 1,000 feet from the boundaries of the project site on Monday, February 16, 2026. Additionally, legal advertisements were published in the Press Enterprise on February 16, 2026. No responses have been received at this time.

Prepared by:



Rene Aguilar
Senior Planner

Submitted by:



Joe Perez
Assistant City Manager / Community
Development Director

Reviewed by:

 //s// Maricela Marroquin

Maricela Marroquin
Deputy City Attorney

ATTACHMENT

1. Resolution No. PC-0007
 - a. Conditions of Approval
2. Set of Plans
3. Project Narrative



ATTACHMENT 1

RESOLUTION NO. PC-0007

RESOLUTION NO. PC-0007

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF JURUPA VALLEY APPROVING MASTER APPLICATION (MA) NO. 24351 CONSISTING OF CONDITIONAL USE PERMIT (CUP) NO. 24013 TO ALLOW THE MANUFACTURING OF COMMERCIAL BUSES WITHIN A NEW 85,570 SQUARE FOOT BUILDING LOCATED AT 5467 28TH STREET IDENTIFIED AS APN 178-230-002 AND FINDING THE PROJECT EXEMPT PURSUANT TO CEQA GUIDELINES SECTION 15332

THE PLANNING COMMISSION OF THE CITY OF JURUPA VALLEY DOES RESOLVE AS FOLLOWS:

Section 1. Project.

a. Executive Coach Builders (the “Applicant”) submitted a request for a Conditional Use Permit (“CUP”) No. 24013 through Master Application (“MA”) No. 24351 to establish industrial manufacturing of commercial buses within a new 85,570 square foot building located at 5467 28th Street (APN 178-230-002) (“Project”). The property is 4.68 acres and has a General Plan Land Use Designation of Light Industrial (LI), which is consistent with its underlying zone of Manufacturing-Service Commercial (M-SC).

Section 2. Procedural Findings. The Planning Commission of the City of Jurupa Valley does hereby find, determine and declare that:

a. MA No. 24351 was processed including, but not limited to, a public notice, in the time and manner prescribed by State law and Jurupa Valley Ordinances.

b. On February 25, 2026, the Planning Commission of the City of Jurupa Valley held a public hearing on MA No. 24351, at which time all persons interested in the Project had the opportunity and did address the Planning Commission on these matters. Following the receipt of public testimony, the Planning Commission closed the public hearing.

c. All legal preconditions to the adoption of this Resolution have occurred.

Section 3. California Environmental Quality Act Findings. The Planning Commission, based on its own independent judgment, does hereby find, determine and declare that the Project is exempt from the requirements of the California Environmental Quality Act (“CEQA”) (Cal. Pub. Res. Code, § 21000 et seq.) and the State Guidelines (the “CEQA Guidelines”) (14 Cal. Code Regs. § 15000 et seq.) pursuant to CEQA Guidelines Section 15332. The Project is consistent with the applicable General Plan designation of Light Industrial and all applicable General Plan policies as well as with applicable zoning designation of Manufacturing-Service Commercial. The Project occurs within city limits on a project site of no more than five acres; the Project site is 4.86 acre in size and is substantially surrounded by urban uses.

The Project has no value as habitat for endangered, rare or threatened species because the site consists of previously developed and highly disturbed land dominated by non-native and ornamental vegetation, with no riverine or riparian habitat, vernal pools, native vegetation communities, or wildlife corridors present. The approval of the Project would not result in any significant effects relating to traffic, noise, air quality or water quality because the Project qualifies for Vehicles Miles Traveled (VMT) screening and would generate fewer than 250 daily trips, resulting in a less than significant transportation impact. Noise studies demonstrate that construction and operational noise would comply with City standards. Air quality modeling prepared using CalEEMod confirms that both construction and operational emission would remain below South Coast Air Quality Management District (SCAQMD) regional and localized significance thresholds. Both the Hydrology Report and the Water Quality Management Plan demonstrate that on-site drainage improvements, including infiltration basin and stormwater BMPs, would comply with the City's municipal code requirements and prevent degradation of water quality. The site can be adequately served by all required utilities and public services.

Section 4. Findings for Approval of Conditional Use Permit.

a. Jurupa Valley Municipal Code section 9.148.020(3)(o) provides that travel trailers and recreational vehicles manufacturing is a permitted use provided a conditional use permit has been granted pursuant to Jurupa Valley Municipal Code section 9.240.280.

b. Jurupa Valley Municipal Code section 9.240.280(4) provides that a conditional use permit shall not be granted unless the applicant demonstrates that the proposed use will not be detrimental to the health, safety or general welfare of the community.

1. The Project will not be detrimental to the health, safety or general welfare of the community because the Project has been complying with all applicable development standards and performance regulations. Technical studies demonstrate compliance with the City's municipal code standards and remain below significant standards.

c. Jurupa Valley Municipal Code section 9.148.020(4) provides that a conditional use permit shall not be granted unless the project meets all of the following standards:

1. The proposed use will not adversely affect any residential neighborhood or property in regard to aesthetics, solar access, privacy, noise, fumes, odors or lights.

i. The proposed use will not adversely affect any residential neighborhood or property in regard to aesthetics, solar access, privacy, noise, fumes, odors or lights because the site is located with an established industrial area. There are industrial uses to the north, west, and east. There are residential areas to the south, but the Project includes constructing a perimeter wall and on-site landscaping to minimize any noise, fumes, odors, and/or lighting. All

manufacturing operations will occur exclusively inside the building which is setback 78 feet from the front property line.

2. The proposed use will not impact traffic on local or collector streets.

i. The proposed use will not impact traffic on local or collector streets because the plan considers the location and need for dedication and improvement of necessary streets and sidewalks, including the avoidance of traffic congestion; and takes into account topographical and drainage conditions, including the need for dedication and improvements of necessary structures as a part thereof.

3. The proposed use is adequately buffered from sensitive uses in the vicinity that may include, but not limited to, churches, childcare facilities, schools, parks and recreation facilities.

i. The proposed use is adequately buffered from sensitive uses in the vicinity because the site is bordered on three sides by industrial and manufacturing uses, and the residential uses are separated from the operations area by 28th Street. Additionally, the Project includes construction of a 6-foot perimeter wall with on-site and off-site landscaping, including eleven (11) 36-inch box trees and fourteen (14) 24-inch box trees, further creating an adequate buffer from the residential areas.

4. The proposed use does not pose a hazard or potential to subject other properties in the vicinity to potential blight or crime.

i. The proposed use does not pose a hazard or potential to subject other properties in the vicinity to potential blight or crime because the Project includes site improvements with a new sidewalk, curb & gutter, paved parking, landscaping, perimeter walls, undergrounding utilities, and lighting designed to be compliant with City standards.

Section 5. **Approval of Master Application No. 24351.** Based on the foregoing, the Planning Commission of the City of Jurupa Valley hereby approves MA No. 24351 consisting of Conditional Use Permit (CUP 24013) to establish the manufacturing of commercial buses within a new 85,570 square foot building located at 5467 28th Street (APN 178-230-002), subject to the conditions of approval attached as Exhibit A.

Section 6. **Certification.** The Community Development Director shall certify to the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED by the Planning Commission of the City of Jurupa Valley on this 25th day of February, 2026.

Laura Schultz

Chair of Jurupa Valley Planning Commission

ATTEST:

Joe Perez

Community Development Director/Secretary to the Planning Commission

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF JURUPA VALLEY)

I, Joe Perez, Assistant City Manager/Community Development Director of the City of Jurupa Valley, do hereby certify that the foregoing Resolution No. PC-0007 was duly adopted and passed at a meeting of the Planning Commission of the City of Jurupa Valley on the 25th day of February, 2026, by the following vote, to wit:

AYES: COMMISSION MEMBERS:
NOES: COMMISSION MEMBERS:
ABSENT: COMMISSION MEMBERS:
ABSTAIN: COMMISSION MEMBERS:

Joe Perez
ASSISTANT CITY MANAGER/
COMMUNITY DEVELOPMENT DIRECTOR

EXHIBIT A
CONDITIONS OF APPROVAL

EXHIBIT A

COMMUNITY DEVELOPMENT DEPARTMENT

1. **PROJECT PERMITTED.** Master Application (MA) No. 24351 to allow the manufacturing of commercial buses within a new 85,570 square foot building and other site development located at 5467 28th Street. (APN: 178-230-002).
2. **CONFORMANCE TO APPROVED EXHIBITS.** The project shall be in conformance to the approved plans (listed below) as amended by these conditions of approval:
 - a. Architectural Plans (dated 8/28/25, 10 pages)
 - b. Landscape Plans (dated 8/28/25, 10 pages)
 - c. Civil Plans (dated 12/01/2025, 15 pages)
3. **INDEMNIFY CITY.** The applicant, the property owner or other holder of the right to the development entitlement(s) or permit(s) approved by the City for the project, if different from the applicant (herein, collectively, the "Indemnitor"), shall indemnify, defend, and hold harmless the City of Jurupa Valley and its elected city council, its appointed boards, commissions, and committees, and its officials, employees, and agents (herein, collectively, the "Indemnitees") from and against any and all claims, liabilities, losses, fines, penalties, and expenses, including without limitation litigation expenses and attorney's fees, arising out of either (i) the City's approval of the project, including without limitation any judicial or administrative proceeding initiated or maintained by any person or entity challenging the validity or enforceability of any City permit or approval relating to the project, any condition of approval imposed by City on such permit or approval, and any finding or determination made and any other action taken by any of the Indemnitees in conjunction with such permit or approval, including without limitation any action taken pursuant to the California Environmental Quality Act ("CEQA"), or (ii) the acts, omissions, or operations of the Indemnitor and the directors, officers, members, partners, employees, agents, contractors, and subcontractors of each person or entity comprising the Indemnitor with respect to the ownership, planning, design, construction, and maintenance of the project and the property for which the project is being approved. The City shall notify the Indemnitor of any claim, lawsuit, or other judicial or administrative proceeding (herein, an "Action") within the scope of this indemnity obligation and request that the Indemnitor defend such Action with legal counsel reasonably satisfactory to the City. If the Indemnitor fails to so defend the Action, the City shall have the right but not the obligation to do so and, if it does, the Indemnitor shall promptly pay the City's full cost thereof. Notwithstanding the foregoing, the indemnity obligation under clause (ii) of the first sentence of this condition shall not apply to the extent the claim arises out of the willful misconduct or the sole active negligence of the City.
4. **CUP - APPROVAL PERIOD.** This approval shall be used within two (2) years of the approval date; otherwise, it shall become null and void and of no effect whatsoever. By "use", it shall mean the beginning of substantial construction contemplated by this approval within two (2) year period which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. **Prior to the expiration of the two (2) year period, the permittee may request up to one (1) year of extension of time in which to begin substantial construction or use of this permit.** Should the extension be obtained and no substantial construction or use of this permit be initiated within three (3) years of the approval date this permit, it shall become null and void.

EXHIBIT A

5. **CONSENT TO CONDITIONS.** Within thirty (30) days after project approval, the owner or designee shall submit written consent to the required conditions of approval to the Community Development Director or designee.
6. **FEES.** The approval of the entitlements shall not become effective until all planning fees have been paid in full.
6. **INCORPORATE CONDITIONS. Prior to the issuance of any building permit,** the owner or designee shall include within the first pages of the working drawings a list of all conditions of approval imposed by the project's final approval.
7. **GENERAL MAINTENANCE OF PROPERTY.** The project site shall be maintained and be kept free of debris, weeds, abandoned vehicles, code violations, and any other factor or condition that may contribute to potential blight or crime.
8. **LANDSCAPE MAINTENANCE.** All landscaped areas shall be maintained as approved on the final landscape plans in an orderly, attractive and healthy condition. This shall include proper pruning, mowing of turf areas, weeding, removal of litter, fertilization, replacement of plants when necessary, and the regular application of appropriate quantities of water to all landscaped areas. Irrigation systems shall be maintained as approved on the final landscape and irrigation plans in proper operating condition. Waterline breaks, head/emitter ruptures, overspray or runoff conditions and other irrigation system failures shall be repaired immediately. The canopy trees shall be maintained in a manner that they provide the required shade coverage and encourages the canopy to grow to provide shade. Avoid topping trees or pruning the trees in a manner that the trees do not achieve mature height and form.
9. **TREES IN STREETScape.** All trees in the parkway and setback abutting a street shall be a minimum of 36" box in size.
10. **PLANNING REVIEW OF GRADING PLANS. Prior to the issuance of any grading permit,** the aesthetic impact of slopes and grade differences where the project adjoins streets or other properties shall be approved by the Community Development Director. This condition applies to the issuance of rough and precise grading permits.
11. **ON-SITE LANDSCAPING. Prior to the issuance of the first building permit** of the development project, a "Professional Services" (PROS) application shall be approved by the Community Development Director. The PROS application, with required initial deposit fee, shall include the following items:
 - a. Final (construction set) on-site landscape and irrigation plans;
 - b. Completed City Agreement for Landscape improvements
 - c. City Faithful Performance Bond for Landscape improvements; performance bond shall be posted at 110% of the total cost approved estimate of landscaping, irrigation, labor, and one-year maintenance. The Community Development Director may consider a cash bond if appropriate.

Prior to the issuance of the first Certificate of Occupancy the following events shall be satisfied in the order listed:

- a. **Substantial Conformance Letter:** The Landscape Architect of Record shall conduct an inspection and submit a letter to the City of Jurupa Valley Planning Division after the

EXHIBIT A

landscape architect has been deemed complete and the installation is in conformance to the approved plans.

- b. **City Inspection**: The City landscape architect shall conduct an inspection of the installation to confirm the landscape and irrigation plan was constructed in accordance to the approved plans. Applicant shall pay any fees associate with the City inspection(s).
15. **GRAFFITI PROTECTION FOR WALLS**. Plans that include anti-graffiti coating or protection for the exterior side of all perimeter walls and exterior of building walls to half the height of the structure, or 12 feet, whichever is greater, shall be approved by the Community Development Director **prior to the issuance of any building permit**. This condition can be satisfied by providing plans with notes indicating that graffiti protection for wall is applied to walls. The wall coating shall be completed and verified **prior to the issuance of the first Certificate of Occupancy**. Graffiti shall be removed from the property within 24 hours of receiving notice from the City.
16. **OUTSIDE STORAGE AND SERVICE AREAS**. Outside storage and service areas shall be screened by structures or landscaping. The screening materials shall be approved by the Community Development Director.
17. **MECHANICAL EQUIPMENT**. Mechanical equipment used in the manufacturing process shall be required to be enclosed in a building, and roof-mounted accessory equipment is required to be screened from view.
18. **OUTDOOR LIGHTING**. All outdoor lighting fixtures shall be maintained in good condition. Light fixtures shall be shielded to prevent any light to flood onto adjacent properties. This requirement will be confirmed through a photometric plan and exhibits of lighting fixtures which shall be approved by the Community Development Director **prior to the issuance of any building permit**. Photometric calculations shall demonstrate zero foot-candles at all property lines.
19. **WALL AND FENCE PLAN**. A Wall & Fence plan, including elevations, colors, and materials, shall be approved by the Community Development Director **prior to the issuance of any building permit**.
20. **JURUPA AREA RECREATION AND PARK DISTRICT (JARPD)**. **Prior to the issuance of any building permit**, the applicant shall submit proof of satisfying any fees, dedications, or requirements by the Jurupa Area Recreation and Park District to the Building Official. This condition shall be satisfied through the submittal of written documentation from the Jurupa Area Recreation and Park District confirming that all applicable park fees, dedications, or other district requirements have been paid or otherwise satisfied, as applicable, prior to issuance of any building permit.
21. **JARPD CFD**. **Prior to the issuance of any building permit**, the applicant shall annex into the existing Jurupa Area Recreation and Park District (JARPD) District-Wide Community Facilities District (CFD) or form a new Community Facilities District (CFD) to contribute to the cost of park maintenance.
22. **IMPACT FEES**. The applicant shall the pay the following impact fees (unless exempt) in accordance to Title 3 of the Municipal Code:
 - a. **Development Impact Fee (DIF) Program**. The applicant shall pay any owed DIFs by the required deadline pursuant to Chapter 3.75 of the Jurupa Valley Municipal Code.

EXHIBIT A

- b. **Multiple Species Habitat Conservation Plan Mitigation (MSHCP) Fee.** The applicant shall pay any owed MSHCP fees by the required deadline pursuant to Chapter 3.80 of the Municipal Code.
 - c. **Transportation Uniform Mitigation Fee (TUMF) Program.** Prior to final occupancy. The applicant shall show proof of payment of TUMF fees by the required deadline pursuant to Chapter 3.70 of the Municipal Code.
21. **SALE OF INDIVIDUAL BUILDINGS.** No structure constructed on Project site may be sold until the subject Project on which the structure is located is divided and a final map recorded in accordance with the City's subdivision regulations such that the structure is located on a separate legally divided parcel.
 22. **EV CHARGING STATIONS.** The site shall provide and install 4 Electrical Vehicle (EV) Charging stations. EV charging station plans shall be approved by the Community Development Director **prior to the issuance of the first Building permit.** The charging stations shall be installed and completed **prior to the issuance of the first Certificate of Occupancy.**
 23. **DRIVEWAY ENHANCEMENTS.** All driveways shall have design enhancements such as decorative paving. Said enhancements shall be approved by the Community Development Director **prior to the issuance of the first building permit** for the development project.
 24. **DOWNSPOUTS.** All building drainage shall be interior with no exterior downspouts or gutters.
 25. **UNDERGROUNDING OF DRAINAGE.** Driveway and parking areas shall not incorporate center swales, ribbon gutters, concrete valleys, etc. All drainage in common and private use areas shall be underground and shall not incorporate open gutters or swales.
 26. **TRASH COLLECTION.**
 - a. Detailed plans for trash enclosure(s) shall be approved by the Community Development Director prior to the issuance of any building permit.
 - b. Walls of the enclosure and any solid gates shall have graffiti protection coating.
 - c. A concrete apron, measuring the width of the trash enclosure, shall be provided in front of the trash enclosure. Details of the apron shall be approved by the Community Development Director and City Engineer.
 - d. An approval or clearance letter from the waste collection agency shall be submitted to the Planning Division **prior to the issuance of any building permit.**
 27. **BACKFLOW DEVICES.** The location of all backflow devices, and any required screening of it, shall be approved by the Community Development Director **prior to the issuance of any building permit.**
 28. **ROOFTOP EQUIPMENT.** All rooftop equipment shall be screened from public view. For projects with new construction, all rooftop equipment shall be screened **prior to the issuance of any Certificate of Occupancy.**
 29. **CAUSES FOR REVOCATION.** Per Sec. 9.240.340. - Findings and procedure for revocation of variances and permits, any Conditional use Permit may be revoked upon finding that one (1) or more of the following conditions for revocation exist:

EXHIBIT A

- (1) That the use is detrimental to the public health, safety or general welfare, or is a public nuisance.
- (2) That the permit was obtained by fraud or perjured testimony.
- (3) That the use is being conducted in violation of the terms and conditions of the permit.
- (4) That the use for which the permit was granted has ceased or has been suspended for one (1) year or more.

ENGINEERING DEPARTMENT

1. GENERAL REQUIREMENTS (ENGINEERING)

- 1.1. The use hereby conditioned is for a Conditional Use Permit (CUP24013); being Parcel 2 of Parcel Map 5926, in the County of Riverside, State of California; more particularly Assessor's Parcel Number 178-230-002. The following exhibit is hereby referenced: preliminary plans identified as Drainage and Grading prepared by Insight Engineering, Inc. and dated December 1, 2025; Site Plan prepared by Insight Engineering, Inc. and dated December 1, 2025.
- 1.2. It is expected that any easements shown on the referenced exhibit(s) are shown correctly and include all the easements that encumber the subject property. The Applicant shall secure approval from all (if any) easement holders for all grading and improvements which are proposed over the respective easement or provide evidence that the easement has been relocated, quitclaimed, vacated, abandoned, easement holder cannot be found, or is otherwise of no affect. Should such approvals or alternate action regarding the easements not be provided, the Applicant may be required to amend or revise the permit.
- 1.3. It is expected that the site plan exhibits are all inclusive of a parcel or parcels of land legally subdivided in compliance with the Subdivision Map Act, and local ordinance.
- 1.4. All utility extensions within the site shall be placed underground unless otherwise specified or allowed by these conditions of approval.
- 1.5. An encroachment permit is required for all work within the public right-of-way.

2. PRIOR TO GRADING PERMIT (ENGINEERING)

- 2.1. In compliance with Jurupa Valley Municipal Code, Chapter 8.70, no grading permit, including mass, rough, and/or precise, shall be issued until the associated Planning application(s) and pertinent Planning permits are approved and in effect.
- 2.2. A grading permit shall be required. All grading shall conform to the California Building Code, as adopted by the City of Jurupa Valley, the City's Municipal Code Title 8, Riverside County Ordinance 787 Section 7701, the Specific Plan, and all other relevant laws, rules, and regulations governing grading in the City of Jurupa Valley and State of California. Grading shall be performed in accordance with the recommendations of the approved project specific geotechnical report and grading plan.
- 2.3. The Applicant shall prepare a precise grading plan for review and approval of the City Engineer. Securities, in the form of a cash deposit (preferable), bond, or letter of credit shall be submitted as a guarantee of the completion of the grading operations for the project and the implementation and maintenance of erosion control measures.

EXHIBIT A

- 2.3.1. The grading plan shall be prepared under the supervision of a civil engineer licensed in the state of California (Project Civil Engineer) and he/she must sign the plan. The printed name and contact information of the Project Civil Engineer shall be included on the face of the grading plan.
- 2.3.2. The grading plan shall provide for acceptance and proper disposal of all off-site drainage flowing onto or through the site. Should the quantities of flow exceed the capacity of the conveyance facility, the Applicant shall provide adequate drainage facilities and/or appropriate easement(s), if necessary, as approved by the City Engineer.
- 2.3.3. The grading plan shall provide for protection of downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement(s), if necessary, as approved by the City Engineer.
- 2.3.4. Temporary and permanent erosion control measures shall be implemented immediately following rough grading to prevent transport and deposition of earthen materials onto downstream/downwind properties, public rights-of-way, or other drainage facilities. Erosion Control Plans showing these measures shall be submitted along with the grading plan for approval by the City Engineer.
- 2.3.5. The final plans shall identify maintenance access for proposed BMPs, all access shall be provided from the project site and not 28th Street.
- 2.3.6. Final plans shall identify northerly driveway restricted to emergency vehicles only, unless approved otherwise by the City Engineer. Fire Department shall review and approve final driveway width and design.
- 2.3.7. Applicant shall provide written proof and authorization from easement holders (if any) for work proposed over easements.
- 2.3.8. Final plans shall show sight lines at driveway approaches.
- 2.3.9. The project geotechnical/soils engineer shall certify that the precise grading plan was designed in conformance with the recommendations of the geotechnical/soils report approved for this project, the city municipal code and the California Building Code. This condition may be satisfied by providing a letter to the city or by signing the Title Sheet of Precise Grading Plan set.
- 2.4. Prior to approval of the precise grading plan, a final geotechnical report shall be submitted for review and approval of the City Engineer.
 - 2.4.1. The final geotechnical report shall include project specific recommendations for onsite and offsite pavement design.
 - 2.4.2. The report shall address the soil's stability and geological conditions of the site. Any onsite and offsite Best Management Practices (BMPs) shall be designed and sized by a Civil Engineer using the recommendations in the geotechnical report. Any changes to the proposed BMP sizing, design, and type; and impacts to the referenced exhibit(s), may require additional approvals.

EXHIBIT A

- 2.5. Prior to approval of the precise grading plan, the Applicant shall prepare a final hydrology and hydraulics report for review and approval of the City Engineer.
 - 2.5.1. Final hydrology report shall be for the entire project site and consider any run-on and run-off to/from the site.
 - 2.5.2. Post-development flow rates must be kept equal to or less than Pre-development flow rates.
 - 2.5.3. Final Hydrology shall address proposed BMPs and reconcile information with final grading plans.
- 2.6. Prior to approval of the precise grading plan, a Final Water Quality Management Plan (F-WQMP) in conformance with the requirements of the Riverside County Flood Control and Water Conservation District (RCFC&WCD) for the Santa Ana River Watershed shall be submitted for review and approval of the City Engineer.
 - 2.6.1. The F-WQMP shall clearly identify tributary areas, runoff volumes, and flow paths for all proposed BMPs.
 - 2.6.2. Proposed infiltration trench shall be sized and designed per Riverside County Flood Control and Water Conservation District standards, including infiltration rates, pretreatment requirements, drawdown time, and overflow.
 - 2.6.3. The infiltration trench shall remain a private water quality facility and be located within the private property unless otherwise approved by the City Engineer. The property owner shall be solely responsible for operation, maintenance, repair, and replacement of the facility in perpetuity.
 - 2.6.4. The F-WQMP shall demonstrate that overflow or failure of the infiltration trench will not adversely impact the public right-of-way or adjacent properties and will safely discharge to an approved downstream facility.
 - 2.6.5. Maintenance and access road to bottom of basin shall be minimum of 15-foot wide and follow RCFC&WCD design guidelines.
- 2.7. Prior to issuance of grading permit, the Property Owner shall enter into a Water Quality Management Plan and Stormwater BMP Operation and Maintenance Agreement with the City. The agreement shall be recorded, and a certified copy shall be provided to the City Engineer.
- 2.8. An emergency escape path shall be provided for the stormwater runoff at all inlets for the proposed drainage and flood control facilities in the event that the inlets become blocked with debris. To prevent flood damage to the proposed structures, all proposed structures in the vicinity of the inlets and along the emergency escape path shall be protected from flooding by properly elevating the finished floor in relation to the inlets and flow paths.
- 2.9. Prior to approval of the grading plans, the Applicant shall submit hydrology/hydraulic calculations and construction plans demonstrating that emergency overflow from the basin is safely managed under lift station operation and under lift station failure.
 - 2.9.1. Identify the passive overflow route and demonstrate it conveys overflow to an approved discharge location without causing erosion, slope stability, or damage to surrounding improvements.

EXHIBIT A

- 2.9.2. Any wall, including retaining walls, within the potential ponding overflow influence area shall be designed for hydrostatic and hydrodynamic loading resulting from the basin overflow water.
- 2.10. If grading is required offsite, the Applicant shall obtain a written notarized letter of authorization from the property owner(s) to grade as necessary and provide a copy to the Engineering Department. It shall be the sole responsibility of the Applicant to obtain any and all proposed or required easements and/or authorizations necessary to perform the grading shown on the site plan and grading exhibits.
- 2.11. A hauling permit shall be required for the import/export of material using City streets; the import/export location and the haul route shall be reviewed and approved by the Engineering Department. In addition, a grading permit and WDID number will be required for the borrow site and the stockpile site. If the import/export location is outside of City limits, the Applicant shall provide evidence that the jurisdictional agency has provided all necessary approvals for import/export to/from the site.

Improvement Plans

- 2.12. The Applicant shall provide improvement plans for improvements including, but not limited to, street improvements, striping and pavement markings, streetlights, landscape and irrigation system, water system, and sanitary sewer system. All plans shall be prepared in accordance with the Riverside County Transportation Department "Improvement Plan Check Policies and Guidelines" as adopted by the City Engineer. All improvements plans shall be processed through the City for approval of the City Engineer.
- 2.13. 28th Street is designated as a local Corridor per the City's General Plan and required improvements shall be consistent with Riverside County Standard No. 105A modified to provide curb adjacent landscape, 44-ft roadway pavement and 11-ft parkway width.
- 2.13.1. Parkway improvements required for this project include, but are not limited to, 5-foot sidewalk, landscaping, curb & gutter and streetlights. All improvements shall provide adequate transition to existing public infrastructure, design of transition shall be reviewed and approved by the City Engineer
- 2.13.2. Applicant shall provide for ultimate half-width right-of-way of 33-feet. If dedication is required, dedication shall be completed prior to building permit clearance from Engineering.
- 2.13.3. Proposed driveways shall be per Riverside County Standard No. 207A (Commercial Drive Approach) and provide adequate ADA compliance path.
- 2.13.4. Half-width pavement treatment shall be required along the project frontage to the satisfaction of the City Engineer. Scope of work shall be refined at time of construction drawing review. A cash-in-lieu of pavement rehabilitation may be considered after further assessment during the technical plan review. However, the improvement plan design and preparation of a cost estimate will be required for review and approval of the City Engineer.

L&LMD, CFD, and Special Districts

- 2.14. The Applicant shall provide plans for landscape and irrigation improvements within the public right-of-way for review and approval of the City Engineer. Plans shall conform to current City

EXHIBIT A

of Jurupa Valley standards and Riverside County Lighting and Landscape Maintenance District (L&LMD) standards.

- 2.14.1. Prior to completion and acceptance of improvements or prior to the final building inspection, whichever occurs first and as determined by the City Engineer, assurance of maintenance is required by completing annexation to Jurupa Valley L&LMD 89-1-C for landscaping and irrigation as applicable, and streetlights unless otherwise maintained by a different public agency or the property owner. A separate landscape plan set and a separate irrigation meter will be required with the L&LMD option.
 - 2.14.2. In case another public agency will be maintaining the improvements, proof of the annexation and completion of the process will be required to be submitted to the Engineering Department.
 - 2.14.3. In case the property owner will be maintaining the landscaping and irrigation within the parkway, the property owner shall enter into a Landscape Maintenance Agreement (LMA) with the City for maintenance of certain parkway improvements as determined and approved by the City Engineer.
- 2.15. Prior to final parcel map approval, the Applicant shall initiate the process to form a Community Facilities District (CFD) for public safety services. Participation in a CFD is intended to fully mitigate the incremental impact of new development on City public safety costs and maintain such levels of service at the standards established in the City's General Plan.
- 2.16. Should this project be within any assessment/benefit district, the Applicant shall make application for and pay any reapportionment of the assessments or pay the unit fees in the assessment/benefit district.

Utilities

- 2.17. All utilities and service facilities, such as sewer, gas, electrical, propane tanks, and water systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharge from the systems into flood waters.
- 2.18. Separate sanitary sewer and domestic water system improvement plans shall be prepared for required improvements for approval of the Rubidoux Community Services District (RCSD) and concurrence of the City Engineer. Water system improvement plans showing the locations of fire hydrants (see County Standard 400) off-site and on-site must also be approved by Riverside County Fire Department. Necessary easements for sewer and water systems on-site, as determined by RCSD, shall be shown on the Final Tract Map "to be dedicated by separate instrument".
- 2.19. Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with City of Jurupa Valley Municipal Code Title 7. The Developer is responsible for coordinating the work with the serving utility company. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. Written proof confirming initiation of the design and/or application or the relocation, issued by the utility company, shall be submitted to the Engineering Department for verification purposes.

EXHIBIT A

3. PRIOR TO ISSUANCE OF BUILDING PERMIT (ENGINEERING)

- 3.1. A building pad certification stamped by a Civil Engineer or Land Surveyor shall be submitted to the city that certifies the pad(s) location and elevations are in substantial conformance to the approved grading plan.
- 3.2. A building pad certification shall be submitted by the Geotech Engineer that certifies that the building pad was graded in accordance with the recommendations in the geotechnical report.
- 3.3. The required water and sanitary sewer system improvements, including fire hydrants, shall be installed and accepted by Rubidoux Community Services District (RCSD).
 - 3.3.1. Clearance from RCSD shall be required and shall be provided to the City.
 - 3.3.2. Utility extensions from the mainline or other points of connection within the public right-of-way require that the Applicant obtain an Encroachment Permit from the Engineering Department. The City shall make a final inspection of work to verify that any impacts that the work might have had to other City owned infrastructure is restored or repaired to the satisfaction of the City Engineer.
- 3.4. Installation of utilities within the public right-of-way may warrant additional pavement reconstruction of or resurfacing of existing paving as determined by the City Engineer.

4. PRIOR TO CERTIFICATE OF OCCUPANCY (ENGINEERING)

- 4.1. All grading and construction of infrastructure improvements within the public right-of-way in accordance with the approved plans, the City of Jurupa Valley Municipal Code Chapter 8.70, and all other applicable requirements, shall be completed to the satisfaction of the City Engineer.
- 4.2. The civil engineer of record shall certify to the completion of grading, drainage, utilities and related onsite improvements in conformance with the approved precise grading plan set. Said engineer to provide a Final Grading Certification letter to the City Engineer.
- 4.3. The Project Civil Engineer shall provide Record ("As-built") Drawings of grading and all infrastructure improvements.
- 4.4. Assurance of maintenance is required by the completion of annexation into the City's L&LMD or execution of a maintenance agreement for all applicable improvements specified in these conditions of approval.
- 4.5. Prior to the certificate of occupancy, Applicant shall complete the formation to Jurupa Valley CFD for Public Safety services.

EXHIBIT A

The Applicant hereby agrees that these Conditions of Approval are valid and lawful and binding on the Applicant, and its successors and assigns, and agrees to the Conditions of Approval.

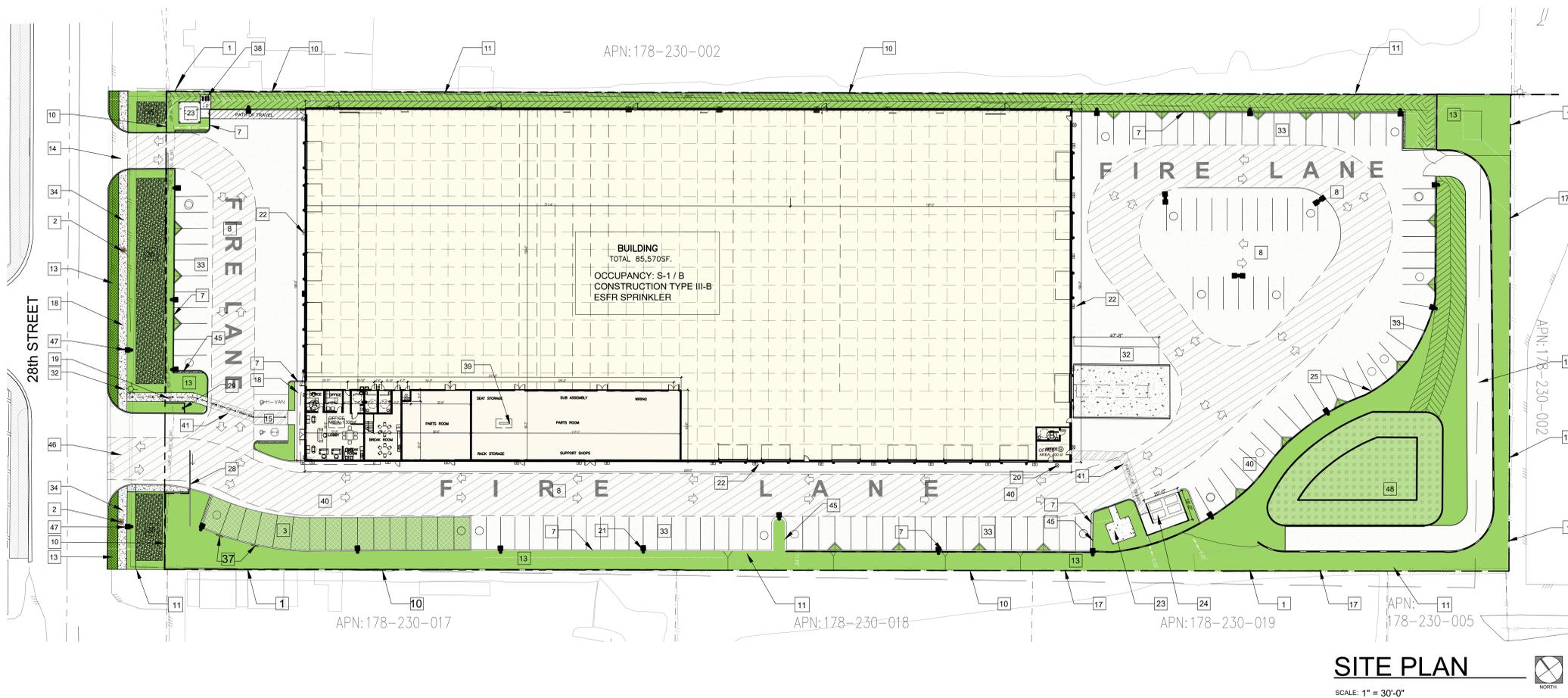
Applicant's name (Print Form): _____

Applicant's name (Signature): _____

Date: _____

ATTACHMENT 2

SET OF PLANS



SITE PLAN
SCALE: 1" = 30'-0"

KEY NOTES

- | | | | |
|--|--|---|---|
| 1 PROPERTY LINE | 10 MASONRY SPLIT FACE BLOCK WALL - 6" HIGH | 19 (N) MAN GATE | 29 (N) KNOX BOX & OPTICOM IR RECEIVER |
| 2 (E) ELECTRIC POST | 11 (E) CHAIN LINK FENCE - 6' HIGH TO BE REMOVE | 20 (N) LED ACCENT LIGHTING MANUF.: CRYSTAL LIGHTING CORP. | 30 (N) PAVED ENTRY AREA |
| 3 PARKING AREA W/ PERMEABLE PAVERS | 12 ACCESS ROAD | 21 (N) LED SECURITY LIGHTING MANUF.: CRYSTAL LIGHTING CORP. | 31 (E) METAL STRUCTURE TO BE REMOVED |
| 4 (E) WATER METER | 13 LANDSCAPING | 22 (N) LED WALL PACK SECURITY LIGHTING MANUF.: CRYSTAL LIGHTING CORP. | 32 BUS WASH AREA |
| 5 6" HIGH (E) MANUALLY OPERATED SWING GATE | 14 (N) 20' DRIVEWAY PER CITY STDS. | 23 (N) SHADE STRUCTURE / EMPLOYEE BREAK AREA | 33 PARKING AREA |
| 6 NEW COMMERCIAL DRIVEWAY PER CITY STD. NO. 207A | 15 (E) WATER METER | 24 (N) TRASH ENCLOSURE | 34 NEW CONCRETE SIDEWALK PER CITY STANDARDS |
| 7 (N) 6" CONCRETE CURB | 16 (E) GAS CONNECTION VALVE | 25 (N) RETAINING WALL PER CIVIL | 35 INFILTRATION TRENCH PER CIVIL PLAN |
| 8 A.C. PAVEMENT, TYP. | 17 (N) 8" HIGH TUBULAR STL. FENCE | 26 (E) CONCRETE PATHWAY TO REMAIN | 36 (E) HOUSE TO BE DEMO |
| 9 CONCRETE PAVING TYP. | 18 (N) CONCRETE SIDEWALK | 27 MECHANICAL ROOM | 37 (N) EV CHARGING STATION |
| | | 28 SLIDING GATE 6' HIGH | 38 (N) BICYCLE PARKING RACK |

LIGHTING LEGEND

 LED WALL MOUNT LUMINARIE Manufacturer: Crystal lighting or similar Model# CL-3099-S	 LED LIGHTING Manufacturer: Crystal lighting or similar Model# ERS-SA 4 Modules	 LED LIGHTING Manufacturer: Crystal lighting or similar Model# CL-304
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NOTE:
ALL OPEN YARD AREAS TO HAVE MIN. 1' CANDLE LIGHTING, PER CITY CODE.

GOVERNING CODES

2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2022 CALIFORNIA FIRE CODE, AND CITY OF JURUPA VALLEY MUNICIPAL CODE.

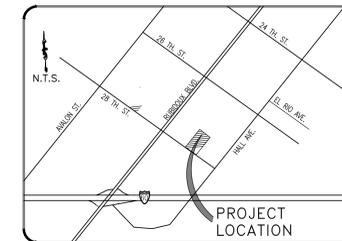
UTILITY COMPANIES

GAS: SOUTHERN CA GAS COMPANY (909) 357-6116
 WATER & SEWER: JURUPA COMMUNITY SERVICES DISTRICT (951) 665-7434
 ELECTRICITY: SOUTHERN CA EDISON (800) 427-2000
 SOLID WASTE: BURRTEC (951) 786-0639

NOTES:

- ALL W.O.M.P. SITE DESIGN ITEMS TO BE ADDRESSED IN FINAL PLAN.
- SITE TO HAVE MIN. 1 FOOT CANDLE SECURITY & SAFETY LIGHTING.
- SITE TO HAVE A MIN. 10% LANDSCAPING.
- ALL STREET IMPROVEMENTS TO BE INSTALLED @ STREET FRONTAGE, PER CITY STANDARDS.
- OFFICE/BUILDING TO BE A.D.A. ACCESSIBLE & PROVIDE A.D.A. PARKING & ACCESS TO CITY SIDEWALK.
- ALL ROOF DRAINS TO BE DIRECTED TO LANDSCAPE / BIO SWALES.
- SITE WILL COMPLY WITH STANDARD BUILDING SECURITY SPECIFICATIONS PER COUNTY SHERIFF DEPT.
- ALL BUILDING DRAINAGE MUST BE INTERIOR W/ NO EXTERIOR DOWNSPOUTS OR GUTTER.
- THE DEVELOPMENT SHALL INCLUDE SUFFICIENT LIGHTING IN ALL AREAS AS TO PREVENT LOITERING, AND TRESPASSING. LIGHTING SHOULD BE SET IN A WAY AS TO NOT IMPACT THE NEIGHBORING PROPERTIES AND STREET EX. AFFIXED TO BUILDINGS OR WALLS AT A LOWER HEIGHT.
- NO DELIVERIES MUST BE MADE TO THE PROJECT SITE BETWEEN 9PM AND 6AM.
- NEW BUILDINGS SHALL BE PROVIDED WITH SPRINKLERS.
- CONNECTION TO THE PUBLIC SEWER SYSTEM WILL BE REQUIRED AND ANY EXISTING ON-SITE WASTE SYSTEM SHALL BE PROPERLY ABANDONED.
- ALL UTILITIES SERVING WITHIN, AND ALONG THE PROJECT FRONTAGE SHALL BE PLACED UNDERGROUND, PER THE CITY'S UNDERGROUND ORDINANCE.
- ANY EXISTING UTILITIES WILL NEED TO BE RELOCATED IF IN CONFLICT WITH ANY PROPOSED IMPROVEMENTS.
- APPLICANT WILL BE REQUIRED TO ANNEX INTO JVL&LMD 89-1-C FOR MAINTENANCE OF LANDSCAPE AND STREETLIGHTS WITHIN THE PROJECT RIGHT-OF-WAY
- ALL IMPROVEMENTS IN PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT CITY REQUIREMENTS AS SPECIFIED IN THE CURRENT CITY ORDINANCE 461. THE EXISTING DRIVEWAY AND NEW DRIVEWAY SHALL BE IN ACCORDANCE WITH STANDARD 207A COMMERCIAL DRIVEWAY.
- VIBRATORY ROLLERS, AND OTHER SIMILAR VIBRATORY EQUIPMENT WILL NOT BE USED WITHIN 25 FEET OF EXISTING STRUCTURES AND LARGE BULLDOZERS WITHIN 15 FEET OF EXISTING STRUCTURES AT THE SOUTHWEST OF THE PROJECT SITE. SMALL BULLDOZERS OR SIMILAR EQUIPMENT WILL BE USED IN PLACE OF VIBRATORY ROLLERS AND LARGE BULLDOZERS TO AVOID ANY GROUND BORNE VIBRATION IMPACTS.

VICINITY MAP



PROJECT DESCRIPTION

NEW CONSTRUCTION FOR AN 85,570 SF CONCRETE TILT-UP BUILDING. CONSTRUCTION TYPE: III-B OCCUPANCY TYPE: S-1, F-1 & B. WITH ESFR FIRE SPRINKLER SYSTEM. PROPOSED SITE IMPROVEMENTS CONSIST OF TRASH ENCLOSURE, EMPLOYEE BREAK AREA, VEHICULAR GATES, HARDSCAPE/LANDSCAPE, WALLS AND FENCES. IMPROVEMENTS PER CITY STANDARDS.

PROJECT DATA

PARCEL 2, PM, PM 5926 APN: 178-230-002
 ZONING: M-SC
 SITE: 4.68 AC (203, 860 SF)
 LAND USE: INDUSTRIAL
 CITY OF JURUPA VALLEY PROJECT No.: CUP MA-24351
 BUILDING HEIGHT: 39'-6" FEET MAX.
 PARKING DATA PER CITY OF JURUPA VALLEY

AREA OF USE	SF	REQUIRED	PROVIDED
OFFICE (A) 1ST FLOOR	1,326	6	6
OFFICE (A) 2ND FLOOR	1,326	6	6
OFFICE (B)	400	2	2
MANUFACTURING	78,258	105	117
TOTAL:		119	131 STALLS

REGULAR STALL 9X18	129 STALLS
ACCESS STALL 9X18	2 STALLS
LOADING 12X75	0 STALLS
END. STALLS 11X18	- STALLS
BICYCLE 1/25	3 STALLS

BUILDING ANALYSIS

TOTA BUILDING AREA	78,258 SF
OCCUPANCY / TYPE CONST	S-1 // F-1 // B
OCCUPANCY GROUP	F-1
CONSTRUCTION TYPE	TYPE II-B W/ AUTOMATIC SPRINKLER SYSTEM
ALLOWABLE HEIGHT (# OF STORIES) PER CBC CHAPTER 5	55'-0" (2 STORIES)

FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

(N) PAVEMENT CONCRETE	75,135	IMPERVIOUS
PERVIOUS PAVERS	2,761	PERVIOUS
LANDSCAPE ON-SITE	27,600	
PARKWAY LANDSCAPE	6,219	
INFILTRATION BASIN	6,575 sf	
LANDSCAPE TOTAL:	40,394 /	19 % TOTAL LANDSCAPE

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINES UNLESS NOTED OTHERWISE.
- ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH A SMART AUTOMATIC IRRIGATION SYSTEM
- SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SITE DRAINAGE, TOPOGRAPHY AND UTILITIES.
- FOR PAVING SECTIONS, CONCRETE CURBS, SWALES AND GUTTERS SEE CIVIL DRAWINGS.
- PROPERTY LINE ARE REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR HORIZONTAL CONTROL.
- LANDSCAPE AREAS SHALL BE DELINEATED WITH A MIN. 6" CONCRETE CURB AND A 12" CONCRETE STEP OUT SHALL BE ADDED ADJACENT TO PARKING STALL PLATING AREA INTERFACES.

PROJECT HOUR OF OPERATION

- HOURS OF OPERATION: 6:00AM - 7:00 PM
- OFFICE HOURS: 8:00AM - 5:00 PM
- TOTAL OF SIX EMPLOYEES IN ONE WORK SHIFT PER DAY
- ESTIMATED VISITORS PER DAY 2-3 PEOPLE TOTAL



LandArq

Landscape Architects & Planners
 4345 E. Lowell St.
 Suite M
 Ontario, CA 91761
 [ph] 909-259-9428
 fausto@landarq.com



SUBMITTALS DATE BY

PROJECT DESCRIPTION

Executive Coach
 5456 28th Street,
 Jurupa Valley, CA.

PREPARED FOR:

5456 28th Street,
 Jurupa Valley, CA 92509

SHEET DESCRIPTION

SITE PLAN

DATE PREPARED: 8.28.25
 DRAWING SCALE: PER PLAN
 DRAWN BY: JCL
 DESIGNED BY: FR
 CHECKED BY: FR
 DPR NUMBER:



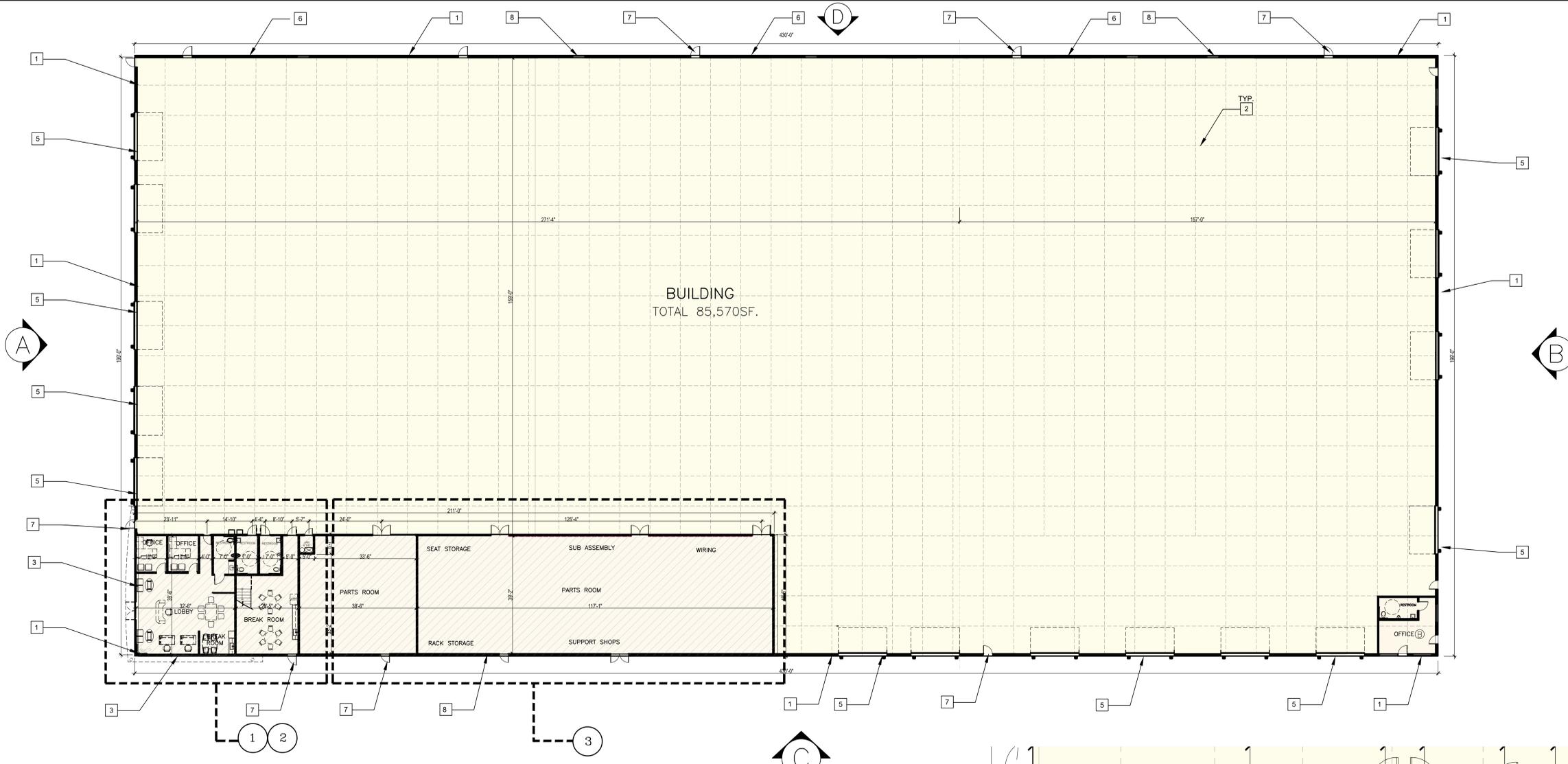
1-800-227-2600



1-888-90-BELOW

C-1

Sheet 1 of 10



BUILDING
TOTAL 85,570SF.

FLOOR PLAN

Scale : 1/16" = 1'-0"



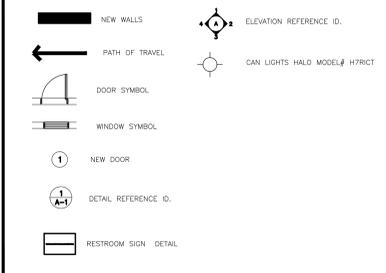
GENERAL NOTES

- REFER TO CIVIL DRAWINGS FOR SLAB ON GRADE FINISH FLOOR ELEVATION ANY DIRECTION OF SLOPE IF ANY.
- SLOPE POUR STRIP 1/4" TO EXTERIOR AT ALL MAN DOORS AND DOCK DOORS. SEE STRUCTURAL DRAWINGS FOR POUR STRIP LOCATIONS.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE PANEL WALL, GRID LINE OR FACE OF STUD UNLESS NOTED OTHERWISE.
- REFER TO CIVIL DRAWINGS FOR POINT CONNECTION TO OFF-SITE UTILITIES AND CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- CONTRACTOR TO PROTECT AND KEEP FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS TO PREVENT OIL SPILLS.
- CONCRETE SLAB TO HAVE STEEL FLOAT TROWEL BURNISHED FINISH.
- ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES SHALL BE FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR.
- PROVIDE MM-EP-99 AT CONTROL/EXPANSION JOINTS AT THE SPEEDWAY ONLY.

PAINT NOTES

- INTERIOR CONCRETE WALL: SINGLE COAT OF ACRYLIC PAINT ON INTERIOR WALLS. SHERWIN WILLIAMS, "SNOWBOUND" SW 7004 - FLAT SHEEN.
- ALL STRUCTURAL STEEL MEMBER INCLUDING COLUMNS, LEDGERS, JOISTS, GIRDERS SHALL RECEIVE LIGHT GRAY SHOP PRIMER. ANY FIELD WELDS SHALL BE TOUCHED UP TO MATCH SHOP PRIMER.
- STRUCTURAL COLUMNS SHALL RECEIVE A COAT OF OSHA YELLOW SAFETY WARNING COLOR, PAINT UP TO 12' ABOVE FINISH FLOOR.
- ARCHITECTURAL COATINGS REQUIRE USE OF HVLP SPRAYING EQUIPMENT OR MINIMUM TRANSFER RATE OF AT LEAST 50% OR MANUAL APPLICATION TECHNIQUE.
- PAINT SHALL BE OF "SUPER COMPLIANT" LOW VOC PER SCAQMD RULE 1113.

FLOOR & WALL PLAN LEGEND

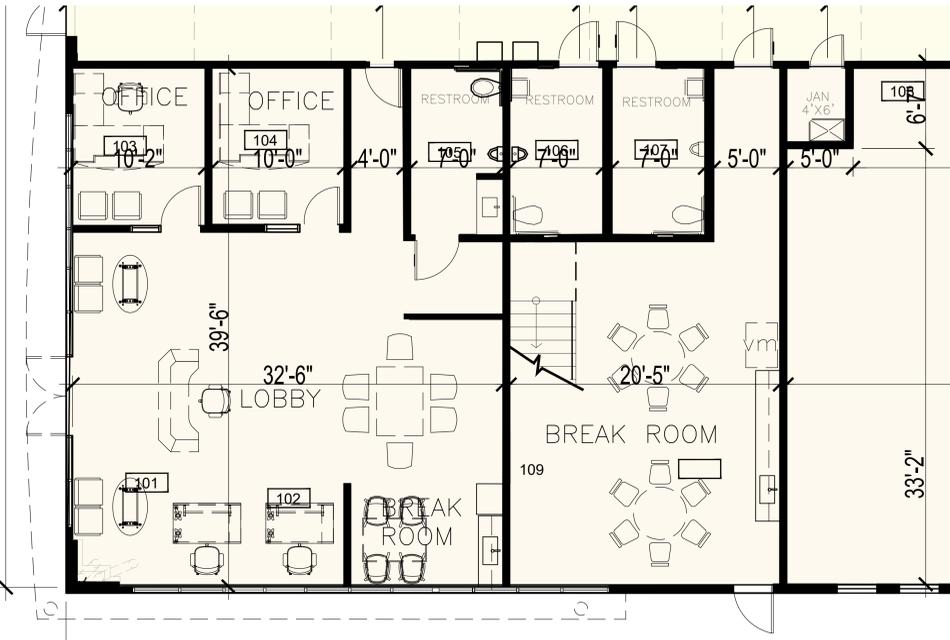


TYP. KEYNOTES

- CONCRETE TILT UP PANEL.
- STRUCTURAL STEEL BUILDING COLUMN
- STOREFRONT SYSTEM AND GLAZING SEE ELEVATION FOR SPECIFICATION
- CONCRETE RAMP WITH 42" H CONC. TILT UP GUARD WALL OR BUILDING WALL
- 16"X10" X 24 GA OVER HEAD ROLL UP DOOR, COUNTER BALANCED WITH 24" X 6" VISION PANEL. STANDARD GRADE WITH WHITE FACTORY FINISH
- 12"X14" X 24 GA OVER HEAD ROLL UP DOOR, COUNTER BALANCED WITH 24" X 6" VISION PANEL STANDARD GRADE WITH WHITE FACTORY FINISH.
- 3X7" HOLLOW METAL DOOR AND FRAME.
- 4'X8' PAINTED METAL LOUVER
- CONCRETE STAIR
- LONG TERM INTERIOR BICYCLE RACK
- ROOF ACCESS LADDER
- ELECTRICAL ROOM

FIRE DEPARTMENT ACCESS NOTES

- INSPECTION REQUIREMENTS**
- Riverside County Fire (RVC-OFM) inspections are required for this project. Email: RVC@FMSCHIEDULINGS@FIRE.CA.GOV. Please provide at least 2-days advance notice.
 - An access and water supply inspection shall be performed prior to building permit issuance OR bringing combustible materials (or combustible fixtures and finishes for structures of non-combustible construction). All-weather access roads capable of supporting 50,000 lbs. topped with asphalt, concrete, or equivalent shall be in place and hydrants operational at time of the inspection.
 - For projects with fuel modification, a vegetation clearance inspection is required.
 - Phased installation of fire access roads requires additional inspections and shall be coordinated with RVC-OFM.
 - An original approved, signed, stamped RVC fire department access plan shall be available on-site at time of the access inspection.
 - Access roads and hydrants shall be maintained and remain clear of obstructions at all times during and after construction. Areas where parking is not permitted shall be clearly identified at all times. Obstruction of fire lanes and hydrants may result in cancellation or suspension of inspections.
 - Temporary fuel tanks 60 (Class I, II, or IIIA Liquids) or more gallons shall be reviewed, inspected, and permitted by the RVC prior to use.
 - The project address shall be clearly posted and visible from the public road during construction.
 - All gates in construction fencing shall be equipped with either a Knox or breakaway padlock.
- GENERAL REQUIREMENTS**
- Fire lane widths shall be measured from top face of the curb to top face of the curb for fire lanes with standard curbs and gutters and from row-line to row-line for fire lanes with modified curb designs (e.g. rolled, ramped, etc.). The developer is responsible to verify that all approved public works or grading department street improvement plans, or precise grading plans conform to the minimum street width measurements per the approved RVC-OFM fire department access plan and water improvement plans, and standards identified in RVC Fire Department Access Guideline (OFM-01A).
 - Permanent, temporary, and phased emergency access roads shall be designed and maintained to support an imposed load of 80,000 lbs. and surfaced to provide all-weather driving capabilities.
 - Fire lane signs and red curbs shall meet the specifications shown in RVC-OFM Fire Department Access Guideline and shall be installed as described therein. Additional fire lane markings may be required at the time of inspection depending on field conditions.
 - Address numbers shall be located and be of a color and size to be plainly visible and legible from the road from which the building is addressed in accordance with RVC-OFM Fire Department Access Guideline.
 - Access gates shall be approved prior to installation and shall be in compliance with Chapter 5 of the CFC and RVC-OFM Fire Department Access Guideline (OFM-01A).
 - Approved access walkways shall be provided to all required openings and all rescue windows.
 - Vegetation shall be selected and maintained in such a manner as to allow immediate access to all hydrants, valves, fire department connections, pull stations, extinguishers, sprinkler risers, alarm control panels, rescue windows, and other devices or areas used for firefighting purposes. Vegetation or building features shall not obstruct address numbers or inhibit the functioning of alarm bells, horns, or strobes.
 - Dumpsters and trash containers larger than 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system.
 - Any future modification to the approved Fire Department Access Plan(s) or approved site plan, including but not limited to road width, grade, speed humps, turning radii, gates, or other obstructions, shall require review, inspection, and approval by RVC-OFM.
 - Approval of this plan shall not be construed as approval of any information or project conditions other than those items and requirements identified in RVC-OFM Fire Department Access Guideline, and related portions of the CFC and CBC. This project may be subject to additional requirements not stated herein upon examination of actual site and project conditions or disclosure of additional information.
- 16
- Riverside County Fire Department Guideline OFM-01A
Fire Department Access Requirements for Commercial & Residential Development



NOTES

- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW, INCLUDING ROOF TOP EQUIPMENT. PROVIDE LANDSCAPING TO EFFECTIVELY SCREEN ALL MECHANICAL EQUIPMENT FROM PUBLIC VIEW.
- ALL PARKING AREAS, INCLUDING DRIVEWAYS, SHALL BE GRADED TO PREVENT PONDING AND TO MINIMIZE DRAINAGE RUNOFF FROM ENTERING ADJOINING PROPERTIES.
- ALL BUILDING DRAINAGE SHALL BE INTERIOR WITHIN THE BUILDING.

**FIRST FLOOR
OFFICE BLOW-UP**

Scale : 3/16" = 1'-0"



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SUBMITTALS DATE BY

PROJECT DESCRIPTION

Executive Coach
5456 28th Street,
Jurupa Valley, CA.

PREPARED FOR:

5456 28th Street,
Jurupa Valley, CA 92509

SHEET DESCRIPTION

**FLOOR
PLAN**

DATE PREPARED: 8.28.25
DRAWING SCALE: PER PLAN
DRAWN BY: JCL
DESIGNED BY: FR
CHECKED BY: FR
DPR NUMBER:

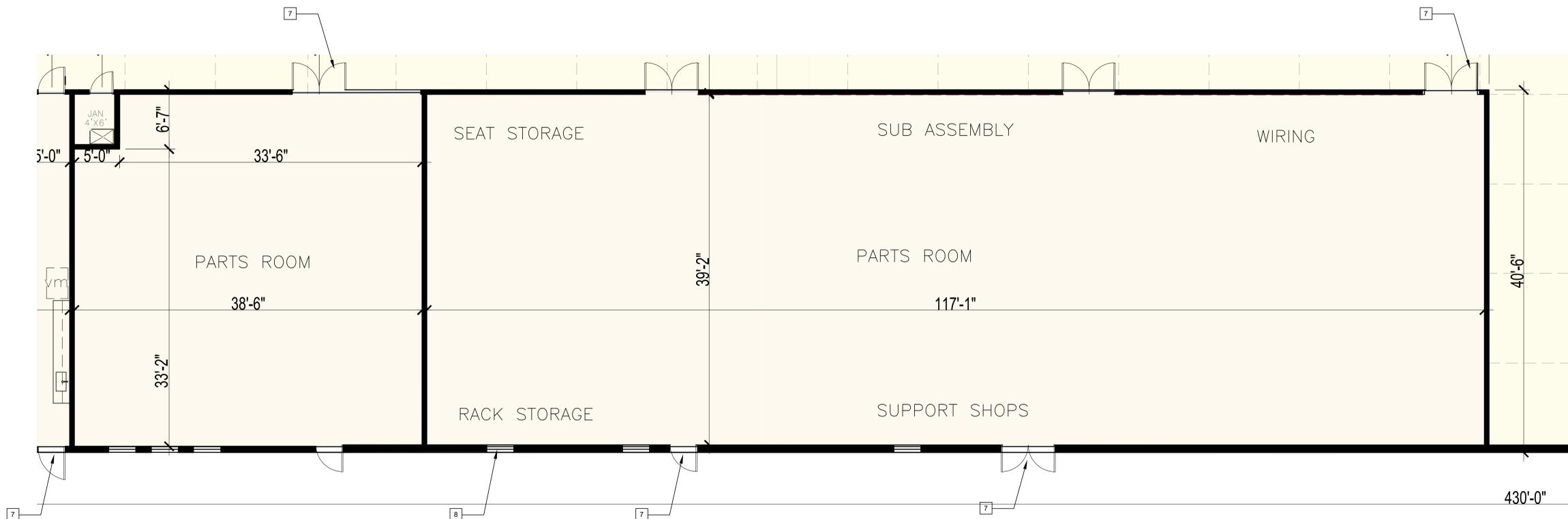
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BELOW
SUBSURFACE IMAGING

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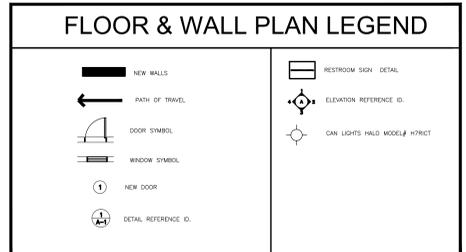
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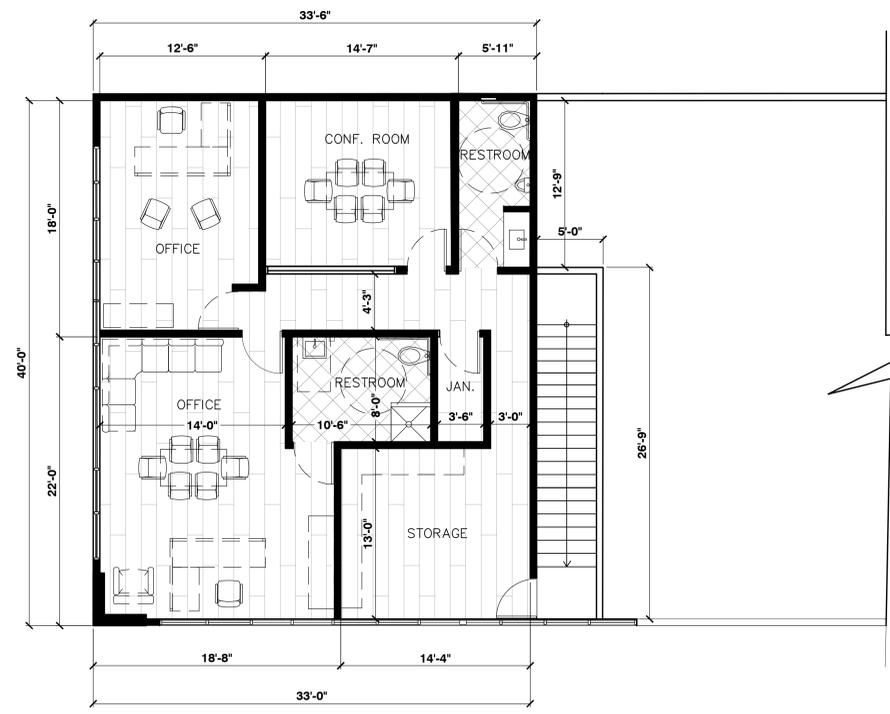
FIRST LEVEL SERVICE AREAS BLOW-UP
 Scale : 3/16" = 1'-0" 2

- GENERAL NOTES**
- REFER TO CIVIL DRAWINGS FOR SLAB ON GRADE FINISH FLOOR ELEVATION ANY DIRECTION OF SLOPE IF ANY.
 - SLOPE POUR STRIP 1/4" TO EXTERIOR AT ALL MAN DOORS AND DOCK DOORS. SEE STRUCTURAL DRAWINGS FOR POUR STRIP LOCATIONS.
 - ALL DIMENSIONS ARE TO FACE OF CONCRETE PANEL WALL, GRID LINE OR FACE OF STUD UNLESS NOTED OTHERWISE.
 - REFER TO CIVIL DRAWINGS FOR POINT CONNECTION TO OFF-SITE UTILITIES AND CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
 - CONTRACTOR TO PROTECT AND KEEP FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS TO PREVENT OIL SPILLS.
 - CONCRETE SLAB TO HAVE STEEL FLOAT TROWEL BURNISHED FINISH.
 - ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES SHALL BE FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR.
 - PROVIDE MM-EP-90 AT CONTROL/EXPANSION JOINTS AT THE SPEEDWAY ONLY.

- PAINT NOTES**
- INTERIOR CONCRETE WALL: SINGLE COAT OF ACRYLIC PAINT ON INTERIOR WALLS. SHERWIN WILLIAMS, "SNOWBOUND" SW 7004 - FLAT SHEEN.
 - ALL STRUCTURAL STEEL MEMBER INCLUDING COLUMNS, LEDGERS, JOISTS, GIRDERS SHALL RECEIVE LIGHT GRAY SHOP PRIMER. ANY FIELD WELDS SHALL BE TOUCHED UP TO MATCH SHOP PRIMER.
 - STRUCTURAL COLUMNS SHALL RECEIVE A COAT OF OSHA YELLOW SAFETY WARNING COLOR. PAINT UP TO 12' ABOVE FINISH FLOOR.
 - ARCHITECTURAL COATINGS REQUIRE USE OF HVLP SPRAYING EQUIPMENT OR MINIMUM TRANSFER RATE OF AT LEAST 50% OR MANUAL APPLICATION TECHNIQUE.
 - PAINT SHALL BE OF "SUPER COMPLIANT" LOW VOC PER SCAQMD RULE 1113.



- TYP. KEYNOTES**
- CONCRETE TILT UP PANEL.
 - STRUCTURAL STEEL BUILDING COLUMN
 - STOREFRONT SYSTEM AND GLAZING SEE ELEVATION FOR SPECIFICATION
 - CONCRETE RAMP WITH 42" H CONC. TILT UP GUARD WALL OR BUILDING WALL
 - 9'X10' X 24 GA OVER HEAD ROLL UP DOOR, COUNTER BALANCED WITH 24" X 6" VISION PANEL. STANDARD GRADE WITH WHITE FACTORY FINISH
 - 12'X14' X 24 GA OVER HEAD ROLL UP DOOR, COUNTER BALANCED WITH 24" X 6" VISION PANEL STANDARD GRADE WITH WHITE FACTORY FINISH.
 - 3'X7' HOLLOW METAL DOOR AND FRAME.
 - 4'X8' PAINTED METAL LOUVER
 - CONCRETE STAIR
 - LONG TERM INTERIOR BICYCLE RACK
 - ROOF ACCESS LADDER
 - ELECTRICAL ROOM



SECOND FLOOR LEVEL OFFICE BLOW-UP
 Scale : 3/16" = 1'-0" 3



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SUBMITTALS	DATE	BY

PROJECT DESCRIPTION

Executive Coach
 5456 28th Street,
 Jurupa Valley, CA.

PREPARED FOR:

5456 28th Street,
 Jurupa Valley, CA 92509

SHEET DESCRIPTION

FLOOR PLAN

DATE PREPARED: 8.28.25
 DRAWING SCALE: PER PLAN
 DRAWN BY: JCL
 DESIGNED BY: FR
 CHECKED BY: FR
 DPR NUMBER:



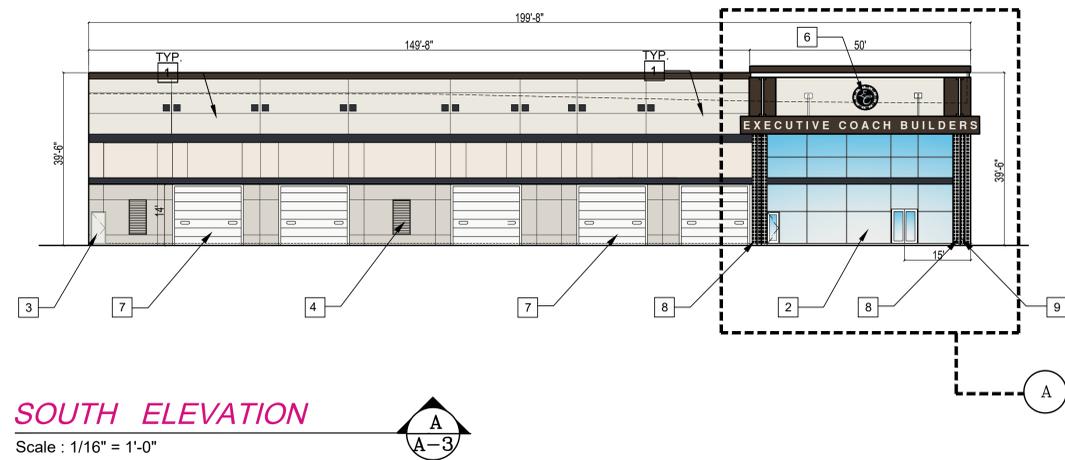
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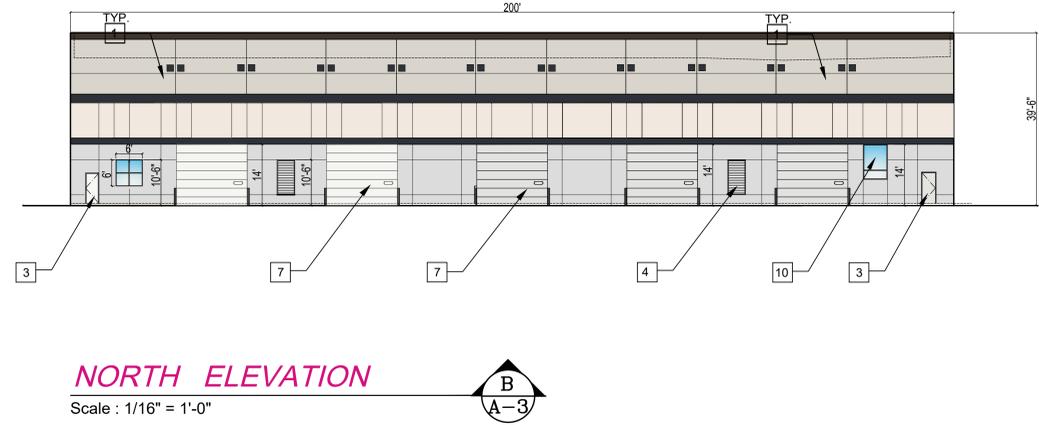
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Sheet 3 of 10



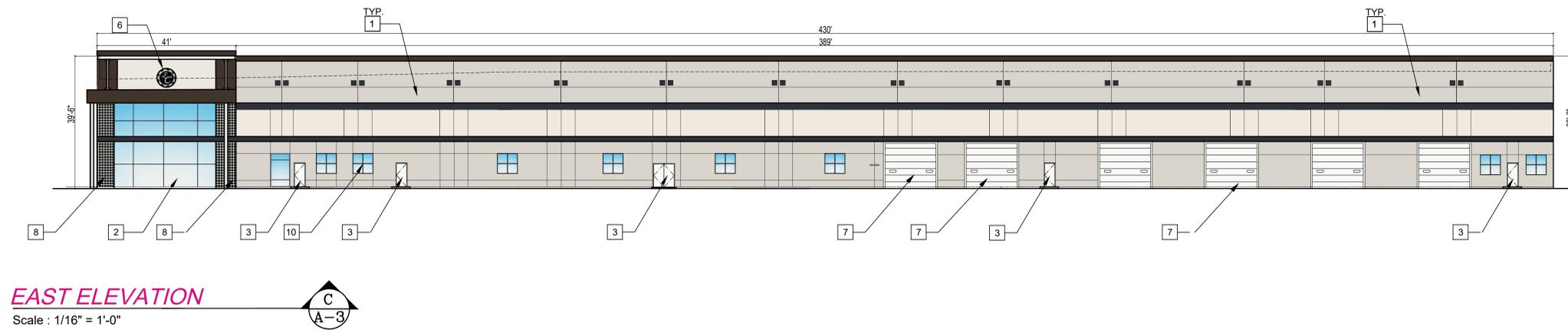
SOUTH ELEVATION

Scale : 1/16" = 1'-0"



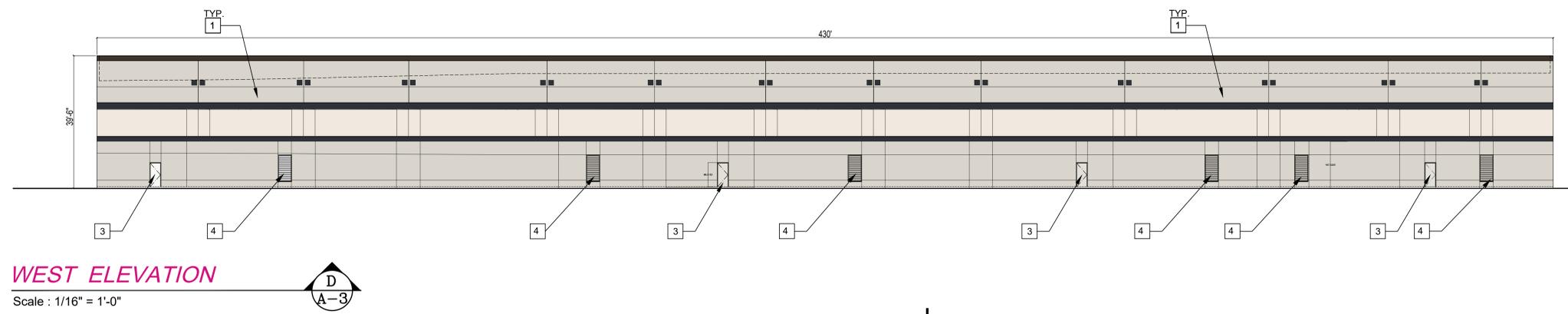
NORTH ELEVATION

Scale : 1/16" = 1'-0"



EAST ELEVATION

Scale : 1/16" = 1'-0"



WEST ELEVATION

Scale : 1/16" = 1'-0"

KEY NOTES	
1	PAINTED CONCRETE WALL
2	ALUMINUM STOREFRONT GLAZING SYSTEM
3	3'X7' HOLLOW METAL DOOR AND FRAME.
4	4'X8' PAINTED METAL LOUVER
5	ROOF DRAIN
6	COMPANY LOGO
7	ROLL-UP DOORS
8	BLACK CONCRETE TILES MEASURING 12" x 12"
9	ROUND METAL POSTS
10	GLASS WINDOWS

COLOR / FINISH LEGEND	
[Color swatch]	SHERWIN WILLIAMS SW9085 TOUCH OF SAND
[Color swatch]	SHERWIN WILLIAMS SW9090 CARAIBE
[Color swatch]	SHERWIN WILLIAMS SW9089 LLAMA WOOL
[Color swatch]	CANOPY: REYNOBOND SERIES TWO, ANAMA 2805 ANODIC BRONZE
[Color swatch]	SHERWIN WILLIAMS SW9091 HALF CAFF

GLAZING LEGEND	
[Color swatch]	BLUE TEMPERED VISION GLASS
OFFICE / POTENTIAL OFFICE AREAS: VITROGLAZING VISTACOOOL (2) PACIFICA + SOLARBAN 60 (3) VLT: 26, SHGC: 0.17, U VALUE: 0.29	
1" INSULATED UNIT WITH 4 AIRSPACE AND (2) 1/4 UNITS	
WAREHOUSE GLAZING AREA: SINGLE PANE VITROGLAZING VISTALCOOL PACIFICA.	



ENLARGED EAST ELEVATION

Scale : 1/8" = 1'-0"



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PROJECT DESCRIPTION

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Jurupa Valley, CA.

PREPARED FOR:

5456 28th Street,
Jurupa Valley, CA 92509

SHEET DESCRIPTION

ELEVATIONS

DATE PREPARED: 8.28.25
DRAWING SCALE: PER PLAN
DRAWN BY: JCL
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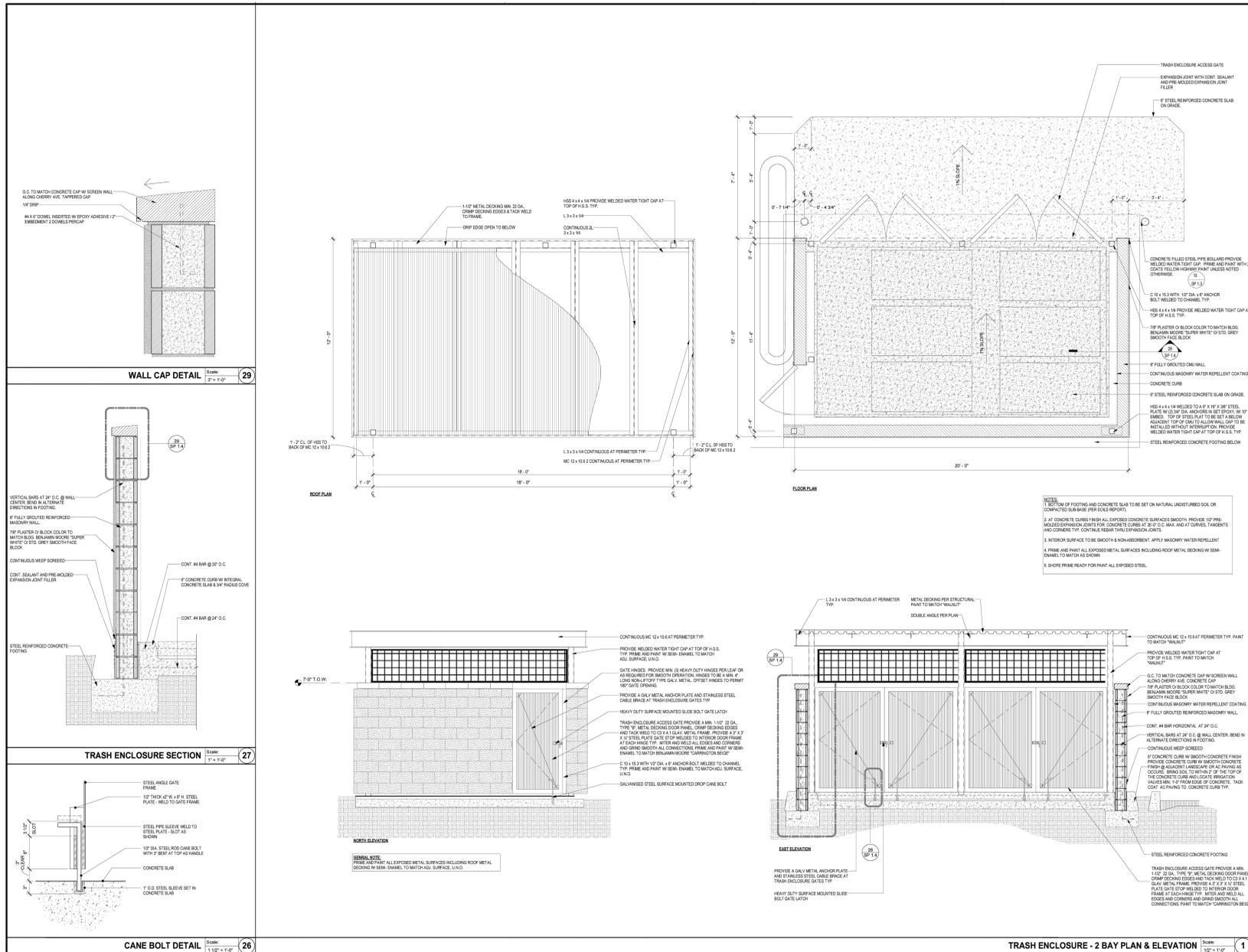
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Sheet 4 of 10



-ALL GATES/DOORS TO BE LOCKABLE AND SECURED
 -PROVIDE LIGHTING NEAR OR WITHIN FOR SAFETY

Preferred Option

Provide a min. 18'-0" w x 9'-0" d x 7'-0" h trash enclosure and space inside the enclosure for a minimum of:

- One (1) 4-cubic-yard trash container
- One (1) 4-cubic-yard recycling container
- Two (2) 64-gallon compost containers



TRASH ENCLOSURE DETAILS

Scale : 1/16" = 1'-0"



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PROJECT DESCRIPTION

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 5456 28th Street,
 Jurupa Valley, CA.

PREPARED FOR:

5456 28th Street,
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SHEET DESCRIPTION

TRASH ENCLOSURE DETAILS

DATE PREPARED: 8.28.25
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Sheet 5 of 10



PROPOSED PLANT PALETTE

SYMBOL	PLANT NAME	TREE	SIZE	WUCOLS	QTY
T1	Afghan Pines Pinus eldarica		36" BOX	L	7
T2	Chilopsis linearis Desert Willow		36" BOX	L	5
T4	Rhus tinctoria African sumac		36" BOX	L	40
T5	Giejera parviflora Australian willow		36" BOX	L	23
T6	Lophostemon conferta Brisbane box		24" BOX	M	95
T7	Lagerstroemia Center Stage® RedCenter Stage red crape myrtle		24" BOX	M	32
	Phoenix canariensis Canary Island Date Palm		36" BOX	M	3
	Existing trees to remain		-	-	3
	Existing trees to be removed		-	-	-

SYMBOL	SHRUB	SIZE	WUCOLS	QTY
	Ligustrum japonicum 'Texanum'	5 GAL	M	-
	Japanese Privet	5 GAL	M	-
	Buxus microphylla japonica	5 GAL	M	-
	Japanese Boxwood	5 GAL	M	-
	Leucophyllum T. 'Green Cloud'	5 GAL	L	-
	Texas Sage 'Green Cloud'	5 GAL	L	-
	Salvia g. 'Furman's Red'	5 GAL	L	-
	Furman's Red Autumn Sage	5 GAL	L	-
	Lupinus excubitus	5 GAL	L	-
	Grape Soda Lupine	5 GAL	L	-
	Callistemon 'Little John'	5 GAL	L	-
	Dwarf Bottlebrush	5 GAL	L	-
	Emerocallis hybrid	5 GAL	M	-
	Evergreen Red Daylily	5 GAL	M	-
	Agave attenuata	5 GAL	L	-
	Foxtail Agave	5 GAL	L	-
	Bougainvillea 'La Jolla'	5 GAL	L	-
	La Jolla Bougainvillea	5 GAL	L	-
	Lantana montevidensis	5 GAL	L	-
	Trailing Purple Lantana	5 GAL	L	-
	Aloe strata	5 GAL	L	-
	Coral Aloe	5 GAL	L	-
	Muhlenbergia rigens	5 GAL	M	-
	Deer Grass	5 GAL	M	-
	Agave 'Blue Glow'	5 GAL	L	-
	Blue Glow Agave	5 GAL	L	-
	Liriope muscari	5 GAL	M	-
	Big Blue Leaf Turf	5 GAL	M	-
	Bougainvillea 'Barbara Karst'	5 GAL	L	-
	Barbara Karst Bougainvillea	5 GAL	L	-
	GROUNDCOVER			
	Myoporum parvifolium	5 GAL	L	-
	Prostrate Myoporum	5 GAL	L	-
	Vine			
	Ficus pumila	5 GAL	M	-
	Creeeping Fig	5 GAL	M	-
	Parthenocarpus tricuspidata	5 GAL	M	-
	Boston Ivy	5 GAL	M	-

- NOTE:**
- APPLY ANTI-GRAFFITI WALL COATING TO ALL STREET FACING WALLS.
 - PROVIDE 12" WIDE CONCRETE STEP OUTS ADJACENT TO PARKING STALL PLANTING AREA.
 - PROVIDE A 3" THICK LAYER OF MULCH FOR ALL SHRUB AREAS; 1 1/2" THICK MULCH LAYER FOR GROUND COVER FROM ROOTED CUTTINGS.

(SHRUB & GROUND COVER PLANTS NOT SPECIFIED)

NOTE: QUANTITIES WILL BE FINALIZED DURING FINAL CONSTRUCTION DOCUMENTS PHASE.

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SUBMITTALS DATE BY

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PROJECT DESCRIPTION

Executive Coach
5456 28th Street,
Jurupa Valley, CA.

PREPARED FOR:

5456 28th Street,
Jurupa Valley, CA 92509

SHEET DESCRIPTION

LANDSCAPE PLAN

DATE PREPARED: 8.28.25

DRAWING SCALE: PER PLAN

DRAWN BY: JCL

DESIGNED BY: FR

CHECKED BY: FR

DPR NUMBER:

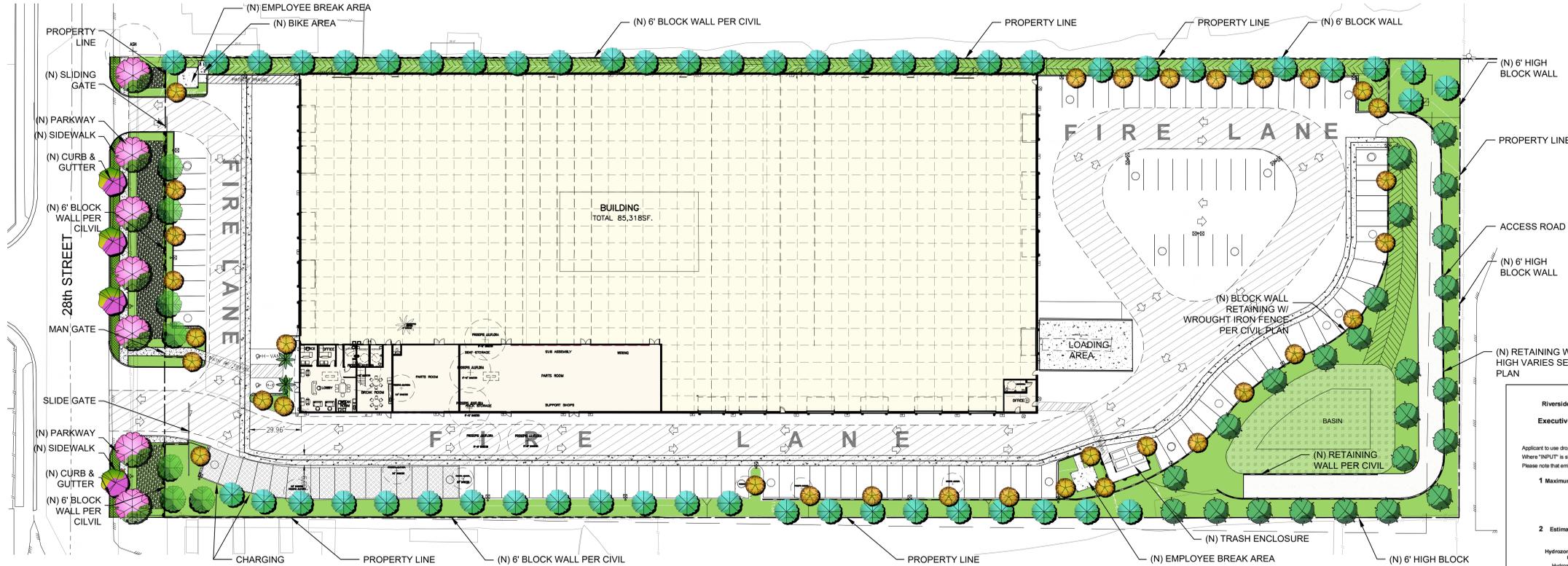
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Sheet 6 of 10



PLANTING DESIGN:
PLANTS GROUPED TOGETHER WITH THE SAME WATER NEEDS TAKING INTO ACCOUNT THE N/E AND S/W EXPOSURES. MOSTLY LOW WUCOLS PLANTS AND NO TURF WAS USED TO MINIMIZE WATER CONSUMPTION. AGRONOMY SOILS REPORT TO BE CONDUCTED AFTER GRADING TO IMPROVE AND AMEND SOILS AS PER SOILS ANALYSIS REPORT, AND TO PROMOTE GOOD PLANT HEALTH. REDUCE WATERING AND MINIMIZE WATER RUN-OFF. ALL PLANTING AREAS TO RECEIVE A 3" LAYER OF MEDIUM GRIND 3" MULCH IN ALL PLANTER BEDS TO HELP CONTAIN SOIL MOISTURE AND TO REDUCE E.T.

IRRIGATION DESIGN:
NO OVERHEAD IRRIGATION WAS USED, IN ORDER TO MINIMIZE WATER RUN-OFF AND WATER CONSUMPTION. ALL LOW VOLUME DRIP IRRIGATION SYSTEMS USED TO ALSO MINIMIZE E.T. SMART CONTROLLERS WITH LOCAL E.T. ON-SITE WATER MANAGEMENT CAPABILITY WERE USED. FLOW SENSING AND MASTER-VALVES WERE ALSO USED IN THE DESIGN TO ASSIST WITH BROKEN WATER LINES AND SITE RUN-OFF. POTABLE WATER TO BE CONVERTED TO RECYCLED WATER WHEN AVAILABLE.

GENERAL:
REGULARLY SCHEDULED MAINTENANCE OF PRUNING, WEEDING AND FERTILIZING OF PLANTS TO PRODUCE HEALTHIER PLANTS WITH LESS WATER NEEDS. WITH THIS CONCEPT OF THE LANDSCAPE DESIGN AND THAT IS WELL ADAPTED TO THE ENVIRONMENT WILL REQUIRE LESS MAINTENANCE, LESS FERTILIZER AND REDUCE THE USE OF PESTICIDES AND OTHER CHEMICALS.

NOTE:
ANY TREES REMOVED ARE TO BE REPLACED WITH 2 - 48 BOX SIZE TREES.

Riverside County Ordinance 859 Landscape Water Use Calculations
Project Type: Commercial
Executive Coach Builders - 28th Street, City of Jurupa Valley
0.45 ETo Allowance

Apply to use drop-down menus in cells that indicate a selection to describe each hydrozone. Where "INPUT" is shown, applicant to enter project specific information. Please note that embedded formulas will reflect as "false" or as an error until selections are completed.

1 Maximum Annual Water Allowance (MAWA)	INPUT the total square footage of landscape = 40,394 S.F.	MAWA = 84,976 cu ft / yr
2 Estimated Annual Water Use (EAUW)	Hydrozone #1 (70% SITE is low) INPUT square footage of hydrozone = 27,260 Hydrozone Irrigation Efficiency = 0.85 EAUW = 30,072 cu ft / yr	Plant Type: Shade / Groundcover Water Use: Low
	Hydrozone #2 (20% SITE is moderate) INPUT square footage of hydrozone = 13,132 Hydrozone Irrigation Efficiency = 0.85 EAUW = 18,796 cu ft / yr	Plant Type: Shade / Groundcover Water Use: Moderate
	Hydrozone #3 (80% R.O.W. is low) INPUT square footage of hydrozone = 4,000 Hydrozone Irrigation Efficiency = 0.85 EAUW = 5,472 cu ft / yr	Plant Type: Shade / Groundcover Water Use: Low
	Hydrozone #4 (20% R.O.W. is moderate) INPUT square footage of hydrozone = 2,000 Hydrozone Irrigation Efficiency = 0.85 EAUW = 3,241 cu ft / yr	Plant Type: Shade / Groundcover Water Use: Moderate
	Sub Total EAUW = 57,782 cu ft / yr	
	Input Irrigation System Operation Factor = 0.95	
	Total EAUW = 67,995	
	MAWA - EAUW = 17,021	(This number must be positive)

PERCENTAGE OF WATER SAVED RELATIVE TO MAX. ALLOWED = 20%

* Trees are not required to be listed as a separate hydrozone if identified by planting with plants of an equal or higher plant factor, and foot area is already included in calculations.



CONCEPTUAL LANDSCAPE PLAN

SCALE: 1"=30' - 0"

LANDSCAPE AREA KEY

	ONSITE-LANDSCAPE PER CITY STANDARDS
	PARKWAY LANDSCAPE PER CITY STANDARDS
	BASIN LANDSCAPE PER CITY STANDARDS
	INFILTRATION TRENCH PER CITY STANDARDS

WALL / FENCE LEGEND

	(N) 6" HIGH SPLIT FACE BLOCK WALL PER CITY STDS.
	(N) BLOCK WALL W/ TUBULAR STL. RAILING HIGH VARIES PER CIVIL PLAN
	(N) RETAINING WALL HIGH VARIES PER CIVIL PLAN

TOTAL LANDSCAPE AREA

ON-SITE LANDSCAPE	26,839 SF	
PARKING AREA LANDSCAPE	7,336 SF	
BASIN / INFILTRATION TRENCH LANDSCAPE	6,219 SF	
LANDSCAPE TOTAL:	40,394 SF	TOTAL LANDSCAPE: 19%
PARKING AREA TOTAL:	22,421 SF	



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SUBMITTALS DATE BY

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▲		
▲		

PROJECT DESCRIPTION

Executive Coach
 5456 28th Street,
 Jurupa Valley, CA.

PREPARED FOR:

5456 28th Street,
 Jurupa Valley, CA 92509

SHEET DESCRIPTION

SHADING PLAN

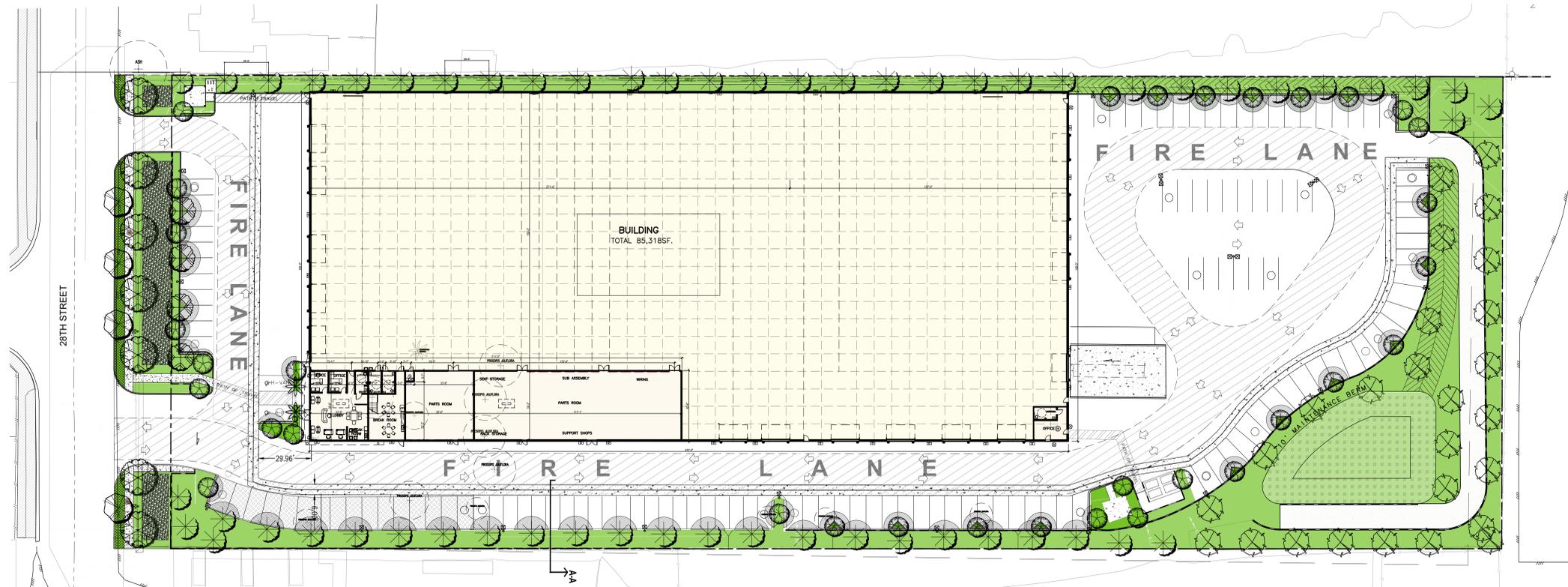
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Sheet 7 of 10



SHADING PLAN

SCALE: 1" = 30'-0"

PROPOSED PLANT PALETTE

SYMBOL	PLANT NAME	SIZE	WUCOLS	QTY
TREE				
T1	Alghan Pines Pinus eிடica	30" BOX	L	7
T2	Chilopsis linearis Desert willow	30" BOX	L	5
T4	Rhus lancea African sumac	30" BOX 40" BOX	L	42 12
T5	Sida sp. Australian willow	30" BOX	L	22
T6	Lophostemon conferta Brisbane box	34" BOX	M	95
T7	Lagerstroemia 'Center Stage' RedCenter Stage red crape myrtle	34" BOX	M	32
	Phoenix Canariensis Canary Island Date Palm	30" BOX	M	3
	Existing trees to remain	-	-	3
	Existing trees to be removed	-	-	-

THREE SHADING LEGEND:
 PARKING AREA SHADED BY TREES

SHADING SUMMARY (ALL SHEETS):
 TOTAL PARKING AREA: 17,800 S.F.
 (EXCLUDING VISITOR PARKING AND EMPLOYEE PARKING SPACES)
 50% SHADING REQUIRED @ EMPLOYEE & VISITOR PARKING PER CITY STANDARDS.
 PARKING AREA: 3,394 S.F.

PARKING AREA SHADED BY TREES*:

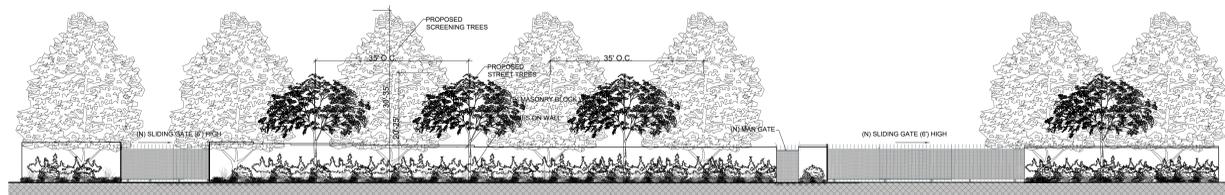
2,005 S.F. / 3,394 S.F. = 59% OF SHADE AREA
 *TREE SIZE SHOWN AT 15 YEARS MATURITY.
 PER RIVERSIDE COUNTY ORDINANCE 348, SECTION 18.12)

SHADING NOTES:

1. 18' PARKING SPACE PER CITY OF JURUPA VALLEY REQUIREMENTS

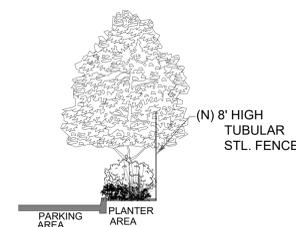
TOTAL LANDSCAPE AREA	
ON-SITE LANDSCAPE	
PARKING AREA LANDSCAPE	26,839 SF
BASIN LANDSCAPE	7,336 SF
PARKWAY LANDSCAPE	6,219 SF
LANDSCAPE TOTAL:	40,394 SF
PARKING AREA TOTAL:	22,421 SF
	TOTAL LANDSCAPE: 19%

SHADING:	
TOTAL PARKING AREA:	21,194 SF
SHADING REQUIRES: MINIMUM 50%	10,597 SF
OVER ALL SHADE AREA PROVIDED:	6,127 / 21,194 SF = 28%



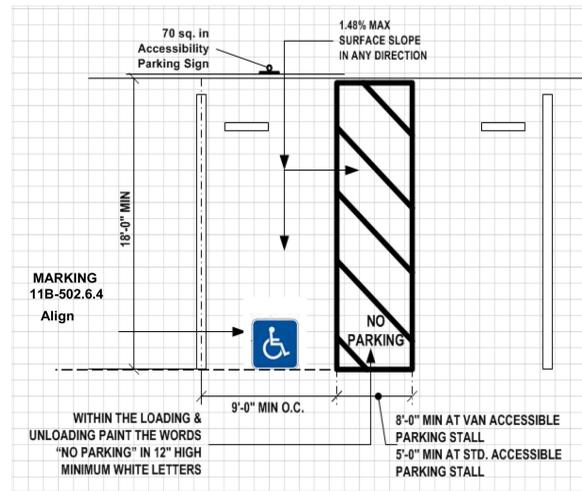
FRONTAGE ELEVATION @ 28 TH STREET

SCALE: 1/16" = 1'-0"



SECTION A-A

1/16" = 1'-0"



VAN PARKING SPACES SHALL BE PERMITTED TO BE 108 INCHES (9 FEET) WIDE MINIMUM WHERE THE ACCESS AISLE IS 96 INCHES (8 FEET) WIDE MINIMUM.

ACCESSIBLE PARKING

N.T.S.



PARKING SIGNS

N.T.S.

NOTES:

SIGNS & IDENTIFICATION AT PARKING SPACES:

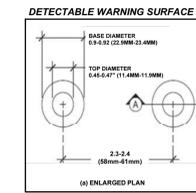
- Required when 5 or more spaces
- Each parking space to have permanent (70 sq. in.) reflectorized porcelain enameled steel sign
- Free standing signs located at interior end of parking space mounted minimum of 80" above finish grade
- Wall mounted signs located at interior end of parking space mounted minimum of 36" above finish grade
- At van accessible space, at "VAN ACCESSIBLE" sign mounted below the symbol of accessibility
- Tow away signs at each entrance to parking area or adjacent to accessible parking spaces. Choose one of the following:

EXTERIOR ROUTES OF TRAVEL:

From handicap parking spaces, provide most practical direct accessible route of travel to all building entrances and exterior ground level exits by incorporating pedestrian ramps, walks, and sidewalks. Any path of travel will be considered a ramp if its slope is greater than 1:20 (5 percent) of horizontal run.

WALKS AND SIDEWALKS REQUIREMENTS:

- Width = 48"
- Slope = 1 in 20 max
- Change in level = Max 1/2", 1/4" - 1/2" beveled (1:2) 1 vertical to 2 horizontal
- Cross slope = Max 1/4" per foot
- Level areas at doors and gates = 60" x 60" swing side and 48" wide x 44" deep on push side
- Swing side strike edge clearance = 24"
- Hand rail not required



TRUNCATED DOMES

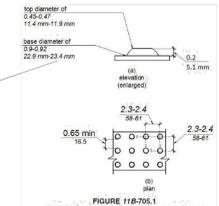


FIGURE 11B-705.1 SIZE AND SPACING OF TRUNCATED DOMES

N.T.S.

ADA PARKING, SIGNAGE & ACCESSIBILITY

SCALE: N.T.S.



LandArq

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4345 E. Lowell St.

Suite M

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[ph] 909-259-9428

fausto@landarq.com



SUBMITTALS DATE BY

PROJECT DESCRIPTION

Executive Coach
5456 28th Street,
Jurupa Valley, CA.

PREPARED FOR:

5456 28th Street,
Jurupa Valley, CA 92509

SHEET DESCRIPTION

DETAILS

DATE PREPARED: 8.28.25

DRAWING SCALE: PER PLAN

DRAWN BY: JCL

DESIGNED BY: FR

CHECKED BY: FR

DPR NUMBER:



A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

1-800-227-2600

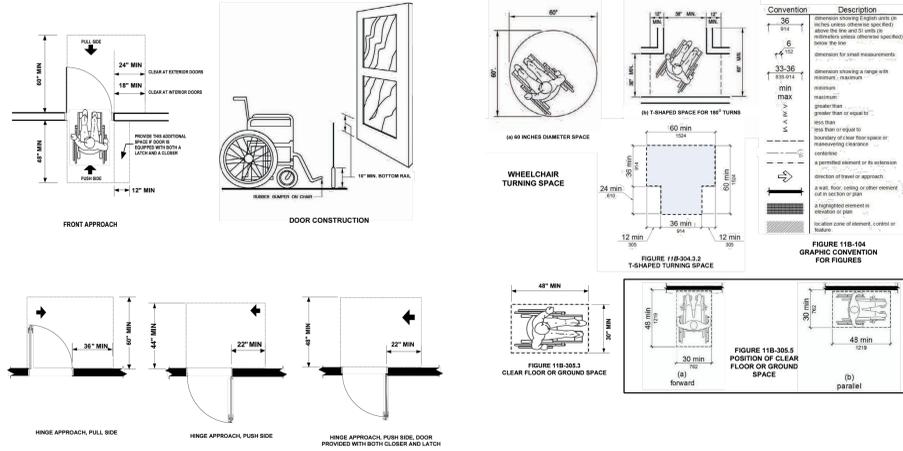


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LA-4

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DOORS & MANEUVERING SPACE



TYPE OF DOOR	APPROACH	DOOR OR DATE SIDE	PERMANENTLY TO BE REMOVED	PERMANENTLY TO REMAIN
Front door	Push	48 inches	18 inches	18 inches
		48 inches	18 inches	18 inches
Front hinge side	Push	48 inches	18 inches	18 inches
		48 inches	18 inches	18 inches
Front hinge side	Pull	48 inches	18 inches	18 inches
		48 inches	18 inches	18 inches
Front hinge side	Push	48 inches	18 inches	18 inches
		48 inches	18 inches	18 inches
Front hinge side	Pull	48 inches	18 inches	18 inches
		48 inches	18 inches	18 inches

NOTE:

- Turning Space
- Circular turning spaces shall be a space of 60 inches diameter minimum and may include knee and toe clearance complying with 11B-306 Knee and Toe Clearance. §11B-304.3.1
- T-shaped turning spaces shall be a T-shaped space within a 60 inch square minimum with arms and base 36 inches wide minimum. Each arm of the T shall be clear of obstructions 12 inches minimum in each direction and the base shall be clear of obstructions 24 inches minimum. §11B-304.3.2, Figure 11B-304.3.2

ADA DOOR & MANEUVERING REQUIREMENTS

SCALE: N.T.S.



Emerson Bike Rack

Date: January 31, 2020
www.landscapiforms.com | PH: 801.521.2546

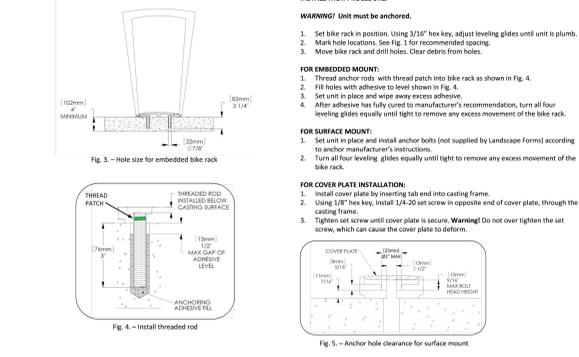
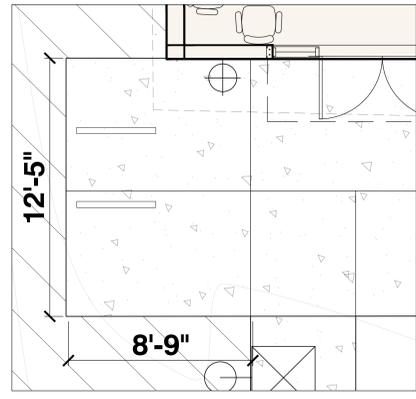


Fig. 3 - Hole size for embedded bike rack

Fig. 4 - Install threaded rod

Fig. 5 - Anchor hole clearance for surface mount



BIKE RACK

SCALE: N.T.S.





IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4



IMAGE 5



IMAGE 6



IMAGE 7



SITE PLAN IMAGE

Scale : N.T.S



IMAGE 8



IMAGE 9



IMAGE 10



IMAGE 11



IMAGE 12



LandArq

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Suite M
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SUBMITTALS DATE BY

PROJECT DESCRIPTION



Executive Coach
5456 28th Street,
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Jurupa Valley, CA 92509

SHEET DESCRIPTION

IMAGES

DATE PREPARED: 8.28.25
DRAWING SCALE: PER PLAN
DRAWN BY: JCL
DESIGNED BY: FR
CHECKED BY: FR
DPR NUMBER:



DIAL BEFORE YOU DIG
TWO WORKING DAYS BEFORE YOU DIG
TOLL FREE 1-800-227-2600
A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT



1-888-90-BELOW

IM-1

Sheet 10 of 10

CITY OF JURUPA VALLEY CA 92509 EXECUTIVE COACH BUILDERS INC. PROJECT NO.



GENERAL GRADING NOTES

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY DOES NOT AUTHORIZE THE SUBDIVIDER AND/OR OWNER TO VIOLATE ANY FEDERAL, STATE, COUNTY, OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- ALL GRADING SHALL CONFORM TO THE 2022 CALIFORNIA BUILDING CODE AS AMENDED BY THE CITY OF JURUPA VALLEY'S ORDINANCE NUMBER 2019-18.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 9111 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF JURUPA VALLEY MUST BE NOTIFIED. IN WRITING, AT LEAST THREE (3) DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- ALL PROPERTY CORNERS, GRADING BOUNDARIES AND ALL CONSERVATION AREAS/LEAST SENSITIVE AREA (LSA) DETERMINED BY THE ENVIRONMENTAL PROGRAMS DEPARTMENT (EPD) SHALL BE CLEARLY DELINEATED AND STAKED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
- ALL WORK UNDER THIS PERMIT SHALL BE LIMITED TO WORK WITHIN THE PROPERTY LINES. ALL WORK WITHIN THE ROAD RIGHT-OF-WAY WILL REQUIRE SEPARATE PLANS AND A SEPARATE REVIEW-APPROVAL (PERMIT) FROM THE TRANSPORTATION DEPARTMENT.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A SOILS ENGINEER IN CONFORMANCE WITH THE RECOMMENDATION OF THE PRELIMINARY SOILS INVESTIGATION PREPARED BY SOILS SOUTHWEST, INC., REPORT # 24029-F/IMP, DATED JULY 25, 2024.
- COMPACTED FILL TO SUPPORT ANY STRUCTURES SHALL COMPLY WITH SECTION 1803.5.8 PROJECTS WITHOUT A PRELIMINARY SOILS REPORT SHALL INCLUDE DETAILED SPECIFICATIONS IN ACCORDANCE WITH SECTIONS 1803.2 AND 1803.5 PREPARED BY THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST 24 HOURS IN ADVANCE TO REQUEST FINISH LOT GRADE AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION FOR EACH LOT.
- PER SECTION 4216 OF THE GOVERNMENT CODE, THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, TWO (2) DAYS PRIOR TO DIGGING AT 811-422-4133.
- PRIOR TO GRADING, A MEETING SHALL BE SCHEDULED WITH THE CITY OF JURUPA VALLEY'S PROGRAM MANAGER PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.

CUT/FILL

- MAXIMUM CUT AND FILL SLOPE SHALL BE 2:1, HORIZONTAL TO VERTICAL.
- NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, TOPSOIL AND OTHER DELETERIOUS MATERIAL. FILLS BE PLACED IN THIN LIFTS (8-INCH MAX OR AS RECOMMENDED IN THE SOILS REPORT), COMPACTED AND TESTED THROUGHOUT THE GRADING PROCESS UNTIL FINAL GRADES ARE ATTAINED. ALL FILLS ON SLOPES STEEPER THAN 5:1, HORIZONTAL TO VERTICAL, AND A HEIGHT GREATER THAN FIVE (5) FEET SHALL BE KEYS AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. THE BENCH UNDER THE TOE MUST BE TEN (10) FEET WIDE MINIMUM.
- THE SLOPE STABILITY FOR CUT AND FILL SLOPES OVER THIRTY (30) FEET IN VERTICAL HEIGHT, OR CUT SLOPES STEEPER THAN 2:1 HAVE BEEN VERIFIED WITH A FACTOR OF SAFETY PF AT LEAST 1.5.
- NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN TWELVE (12) INCHES SHALL BE BURIED OR PLACED IN FILLS CLOSER THAN TEN (10) FEET TO THE FINISHED GRADE.

COMPLETION OF WORK NOTES

- FOR ROUGH GRADING PLANS, A REGISTERED CIVIL ENGINEER SHALL PREPARE FINAL COMPACTION REPORT/GRADING AND IT SHALL BE SUBMITTED TO THE DEPARTMENT OF BUILDING AND SAFETY FOR REVIEW AND APPROVAL. THE REPORT SHALL INCLUDE BUILDING FOUNDATION DESIGN PARAMETERS, EXPANSION INDEX, DESIGN ALTERNATIVES (IF IE > 20), WATER SOLUBLE SULFATE CONTENT, CORROSIVITY AND REMEDIAL MEASURE IF NECESSARY.
- FOR ROUGH GRADING PLANS, EXCEPT FOR NON-TRACT SINGLE RESIDENTIAL RO GRADING, THE COMPACTION REPORT SHALL INCLUDE THE SPECIAL INSPECTION VERIFICATIONS LISTED ON TABLE 1705.6 OF 2022 CALIFORNIA BUILDING CODE.
- FOR ROUGH GRADING, IN ADDITION TO OBTAINING ALL REQUIRED INSPECTIONS AND APPROVAL OF ALL FINAL REPORTS. ALL SITES PERMITTED FOR ROUGH GRADE ONLY SHALL PROVIDE VEGETATIVE COVERAGE (100%) OR OTHER MEANS OF SITE STABILIZATION. APPROVED BY ENVIRONMENTAL COMPLIANCE DIVISION, PRIOR TO RECEIVING A ROUGH GRADE PERMIT FINAL SIGNATURE.
- FOR PRECISE GRADING, A REGISTERED CIVIL ENGINEER SHALL SUBMIT TO THE BUILDING AND SAFETY DEPARTMENT WRITTEN FINAL CERTIFICATION OF COMPLETION OF GRADING IN ACCORDANCE WITH THE APPROVED GRADING PLAN PRIOR TO THE REQUEST OF PRECISE GRADING INSPECTION.

DRAINAGE, EROSION/DUST CONTROL

- DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. EROSION OF THE GROUND IN THE AREA OF DISCHARGE SHALL BE PREVENTED BY INSTALLATION OF NON-EROSIVE DOWN DRAINS OR OTHER DEVICES.
- THE CONTRACTOR SHALL PROVIDE A PAVED SLOPE INTERCEPTOR DRAIN ALONG THE TOP OF CUT SLOPES WHERE THE DRAINAGE PATH IS GREATER THAN FORTY (40) FEET TOWARDS THE CUT SLOPE.
- THE CONTRACTOR SHALL PROVIDE FIVE (5) FEET WIDE BY ONE (1) FOOT HIGH BERM ALONG THE OF ALL FILL SLOPES STEEPER THAN 3:1, HORIZONTAL TO VERTICAL.
- THE GROUND SURFACE IMMEDIATELY ADJACENT TO THE BUILDING FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE) FOR A MINIMUM DISTANCE OF TEN (10) FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION.
- NO OBSTRUCTION OF NATURAL WATER COURSES SHALL BE PERMITTED.
- DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL (BEST MANAGEMENT PRACTICES, BMPs) SHALL BE PROVIDED TO PREVENT PONDING WATER AND DRAINAGE TO ADJACENT PROPERTIES.
- DUST CONTROL SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
- CONSTRUCTION SITES SUBJECT PM10 FUGITIVE DUST MITIGATION SHALL COMPLY WITH AQMD RULE 403.1.
- ALL EXISTING DRAINAGE COURSES AND STORM DRAIN FACILITIES SHALL CONTINUE TO FUNCTION, PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
- FOR ALL SLOPES EQUAL TO OR GREATER THAN THREE (3) FEET IN VERTICAL HEIGHT ARE REQUIRED TO BE PLANTED WITH AN APPROVED DROUGHT-TOLERANT GROUND COVER AT A MINIMUM SPACING OF 12" ON CENTER OR AS APPROVED BY THE ENGINEER OF RECORD OR THE REGISTERED LANDSCAPE ARCHITECT AND DROUGHT-TOLERANT SHRUBS SPACED AT NO MORE THAN 10' ON CENTER, OR TREES SPACED NOT TO EXCEED 20' ON CENTER, OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15' IN ADDITION TO THE GRASS OR GROUND COVER. SLOPES THAT REQUIRE PLANTING SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM EQUIPPED WITH AN APPROPRIATE BACKFLOW DEVICE PER C.P.C. CHAPTER 6. THE SLOPE PLANTING AND IRRIGATION SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE UPON COMPLETION OF ROUGH GRADING. ALL PERMANENT SLOPE PLANTING SHALL BE ESTABLISHED AND IN GOOD CONDITION PRIOR TO SCHEDULING PRECISE GRADE INSPECTION.

OWNER

EXECUTIVE COACH BUILDERS INC.
4400 WEST PRODUCTION DRIVE
SPRINGFIELD, MISSOURI 65735

RICK FUGITT
417-831-3535

APN: 178-230-002

EARTHWORKS VOLUME

CUT: 10,042.00 CY.
FILL: 9,992.00 CY.
NET (CUT): 50.00 CY.

EXCLUSION NOTE:
EARTHWORKS QUANTITIES SHOWN HEREON DO NOT TAKE INTO ACCOUNT SUBSIDENCE AND SURFACE REMOVAL OR LOSS OF MATERIAL DUE TO SITE PREPARATION. THE GRADING CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DETERMINING HIS OWN EARTHWORK, COMPACTION, OVER EXCAVATION OR OTHER SOILS ENGINEER MANDATED SOIL TREATMENT.

FEMA FLOOD ZONE DESIGNATION

ZONE: X (AREA OF MINIMAL FLOOD HAZARD)
MAP: 06065C004SH
EFFECTIVE DATE: 9/12/2024

DEMOLITION NOTES

DEMOLITION NOTES	QUANTITY
REMOVE EXISTING BUILDING AND CONCRETE FOUNDATION	7,410.29 SF
REMOVE EXISTING FENCE	2,060.20 LF
REMOVE EXISTING TREE	6 EA

STORMWATER POLLUTION CONTROL GENERAL NOTES FOR STORM DRAIN CONSTRUCTION

- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- BMPs AS SHOWN ON THIS PLAN, BUT NOT LIMITED TO, THE LATEST EDITION OF THE CASQA MANUAL MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE CITY OF JURUPA VALLEY.

EQUIPMENT TRACKING CONTROL

TC1 STABILIZED CONSTRUCTION ENTRANCE EXIT

TEMPORARY SEDIMENT CONTROL

SE1 SILT FENCE
SE2 SEDIMENT BASIN
SE3 SEDIMENT TRAP
SE4 CHECK DAM

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

WMB CONCRETE WASTE MANAGEMENT

CIVIL ENGINEER'S NOTES:

- THE GENERAL CONTRACTOR AND PROPERTY OWNER ARE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL THROUGHOUT THE YEAR.
- CONTRACTOR & PROPERTY OWNER SHALL READ AND IMPLEMENT NOTES 1-9 SHOWN HEREON.
- PRIOR TO CONSTRUCTION MEETING, EROSION CONTROL MEASURES, INCLUDING FENCING, MUST BE IN PLACE.

EROSION CONTROL NOTES

EROSION CONTROL NOTES	QUANTITY
INSTALL EROSION CONTROL GRAVEL BAGS PER DETAILS E1.	1,900 LF
INSTALL CONCRETE WASTE MANAGEMENT AREA PER DETAIL E3.	1 EA
INSTALL SILT FENCE WITH CLOTH PROTECTION PER DETAIL E2.	1,900 LF
STABILIZED CONSTRUCTION ENTRANCE PER DETAIL E4.	1 EA

SHEET INDEX	
SHEET TITLE	SHEET NO.
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COVER SHEET	1.1
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SITE PLAN	4
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GRADING AND CROSS SECTION 1	6
GRADING AND CROSS SECTION 2	6.1
GRADING AND CROSS SECTION 3	6.2
GRADING AND CROSS SECTION 4	6.3
EROSION AND SEDIMENT CONTROL	7
EROSION AND SEDIMENT CONTROL	7.1
TOPOGRAPHIC SURVEY MAP	8
FIRE MARSHALL PLAN	9
UTILITY PLAN	10
WQMP	W-1
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SWEPT PATH ANALYSIS 2	SPA-2
SWEPT PATH ANALYSIS 3	SPA-3
SWEPT PATH ANALYSIS 4	SPA-4
SWEPT PATH ANALYSIS 5	SPA-5

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)

- CONSTRUCTION SITE BMPs FOR THE MANAGEMENT OF STORM WATER AND NON-STORM WATER DISCHARGES SHALL BE DOCUMENTED ON THE GRADING PLAN. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO RETAIN THE SWPPP ON THE JOBSITE THROUGHOUT THE TIME OF CONSTRUCTION. THE IMPLEMENTATION AND MAINTENANCE OF THE SITE BMPs IS REQUIRED TO MINIMIZE JOBSITE EROSION AND SEDIMENTATION. ARRANGEMENTS SHALL BE MADE BY THE DEVELOPER TO MAINTAIN THOSE BMPs THROUGHOUT THE TIME OF CONSTRUCTION.
- EROSION CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE ENTRAINMENT OF SOIL IN RIBOFF FROM DISTURBED SOIL AREAS ON CONSTRUCTION SITES.
- SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE TRANSPORT OF SOIL FROM THE CONSTRUCTION SITE.
- GRADING SHALL BE PHASED TO LIMIT THE AMOUNT OF DISTURBED AREA EXPOSED TO THE EXTENT.
- AREAS THAT ARE CLEARED AND GRADED SHALL BE LIMITED TO ONLY THE PORTION OF THE SITE THAT IS NECESSARY FOR CONSTRUCTION. THE CONSTRUCTION SITE SHALL BE LIMITED TO ONLY THE PORTION OF THE SITE THAT IS NECESSARY FOR CONSTRUCTION. THE CONSTRUCTION SITE SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREAS THROUGH PHASING AND SCHEDULING OF GRADING AND THE USE OF TEMPORARY AND PERMANENT SOIL STABILIZATION.
- IF DISTURBED, SLOPES (TEMPORARY OR PERMANENT) SHALL BE STABILIZED IF THEY WILL NOT BE WORKED WITHIN 21 DAYS. DURING STORM SEASON, ALL SLOPES SHALL BE STABILIZED PRIOR TO PREDICTED STORM EVEN. CONSTRUCTION SITES SHALL BE REVEGETATED AS EARLY AS FEASIBLE AFTER SOIL DISTURBANCE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE OR STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED, EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT. THE STATEWIDE PERMIT-CONSTRUCTION ACTIVITY. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOIL OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES, AND ASBESTOS FIBERS; PAINT FLAKES OR STUCCO FRAGMENTS; FUEL, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS, CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATE FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITE AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR LOCAL STORM DRAIN SYSTEM.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO ELIMINATE OR REDUCE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- ALL CONSTRUCTION CONTRACTORS AND SUBCONTRACTOR PERSONNEL ARE TO BE TRAINED IN THE IMPLEMENTATION AND USE OF THE REQUIRED BMPs AND GOOD HOUSEKEEPING MEASURE FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS AND ALL TRAINING DOCUMENTATION SHALL BE MAINTAINED IN THE SWPPP.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES MAY REQUIRE A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE REGIONAL WATER QUALITY CONTROL BOARD.
- BMPs SHALL BE MAINTAINED AT ALL TIMES. IN ADDITION, BMPs SHALL BE INSPECTED PRIOR TO PREDICTED STORM EVENTS AND FOLLOWING STORM EVENTS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN TRASH OR RECYCLE BINS.

DECLARATION OF ENGINEER OF RECORD

I HEREBY DECLARE THAT THE DESIGN OF THE IMPROVEMENTS AS SHOWN ON THESE PLANS COMPLIES WITH PROFESSIONAL ENGINEERING STANDARDS AND PRACTICES. AS THE ENGINEER IN RESPONSIBLE CHARGE OF DESIGN OF THESE IMPROVEMENTS, I ASSUME FULL RESPONSIBLE CHARGE FOR SUCH DESIGN. I UNDERSTAND AND ACKNOWLEDGE THAT THE PLAN CHECK OF THESE PLANS BY THE CITY OF JURUPA VALLEY IS A REVIEW FOR THE LIMITED PURPOSE OF ENSURING THAT THE PLANS COMPLY WITH CITY PROCEDURES, APPLICABLE POLICIES AND ORDINANCES. THE PLAN CHECK IS NOT A DETERMINATION OF THE TECHNICAL ADEQUACY OF THE DESIGN OF THE IMPROVEMENTS. SUCH PLAN CHECK DOES NOT THEREFORE, RELIEVE ME OF MY RESPONSIBILITY FOR THE DESIGN OF THESE IMPROVEMENTS. AS ENGINEER OF RECORD (EOR), I AGREE TO INDEMNIFY AND HOLD THE CITY OF JURUPA VALLEY, THE JURUPA VALLEY HOUSING AUTHORITY, AND THE JURUPA VALLEY COMMUNITY SERVICES DISTRICT (CSD), ITS OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY OF CLAIMS, DAMAGES OR INJURIES TO ANY PERSON OR PROPERTY WHICH MIGHT ARISE FROM THE NEGLIGENCE ACTS, ERRORS OR OMISSIONS OF THE ENGINEER OF RECORD. I HAVE READ AND INFORMED THE PROJECT APPLICANT/DEVELOPER THAT APPROVAL OF THESE PLANS DO NOT RELIEVE THEM FROM THE REQUIREMENTS OF THE CONDITIONS OF APPROVAL (ATTACHED HEREIN OR IN OTHER APPROVED IMPROVEMENT PLANS). I ALSO HEREBY DECLARE, THAT I HAVE COMPARED THESE PLANS WITH ALL APPLICABLE ADA TITLE II AND TITLE 24 REQUIREMENTS FOR DISABILITY ACCESS FOR THIS PROJECT, AND THESE PLANS ARE IN FULL COMPLIANCE WITH THOSE REQUIREMENTS.

NAME: ANTHONY VAZ
R.C.E. #C-44248 (EXP. 06/30/2027)

DATE

LEAD DESIGNER

SOIL ENGINEER

MALAY GUPTA, RCE #31708
SOILS SOUTHWEST, INC.
897 VIA LATA, SUITE N
COLTON, CA 92324
(909)370-0474

LANDSCAPE ARCHITECT

FAUSTO A. REYES, CA #4175
LANDARQ, INC.
4345 E LOWELL ST. SUITE M
ONTARIO, CA 91761
(909)259-9428

STRUCTURAL ENGINEER

ENGINEER'S NOTICE TO CONTRACTORS

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY THE SEARCH OF AVAILABLE RECORDS. THESE LOCATIONS ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITY FACILITIES SHOWN AND ANY OTHER FACILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL POSSESS THE CLASS (OR CLASSES) OF LICENSE AS SPECIFIED IN THE "NOTICE INVITING BIDS" OF THE BID DOCUMENTS.

CITY OF JURUPA VALLEY ENGINEERING DEPARTMENT APPROVED BY:	CITY OF JURUPA VALLEY ENGINEERING DEPARTMENT RECOMMENDED BY:
PAUL TOOR, CITY ENGINEER RCE 46281	TINA YORK, DEVELOPMENT SERVICES MANAGER RCE 46367

NO WORK SHALL BE DONE ON THIS SITE UNTIL BELOW AGENCY IS NOTIFIED OF INTENTION TO GRADE OR EXCAVATE.

Underground Service Alert

Call: TOLL FREE
1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

8930 LIMONITE AVE.
JURUPA VALLEY, CA 92509
TEL: (951) 332-6444
EMAIL: ENGINEERING@JURUPAVALLEY.ORG

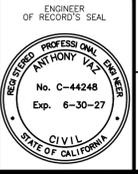
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MARK	DATE	INITIAL	DESCRIPTION	REC.	APPR	DATE
		E.O.R.	REVISION			

BENCHMARK:
DESIGNATION: ML-4-64
3" ALUM DISK SET ON 1'X2.5' CONC. POST. 246" SW OF 28TH AVE. & SE OF HALL AVE.
NAD83
ELEVATION: 854.814 FT
YEAR LEVELED: 1971

BASIS OF BEARING:
THE CENTERLINE OF HALL AVENUE HAVING A BEARING OF N37°21'45"E AS SHOWN ON PARCEL MAP 16773, BOOK 13, PAGE 63 OF PARCEL MAPS RECORDED IN THE COUNTY OF RIVERSIDE RECORDER'S OFFICE.



ENGINEER OF RECORD'S SEAL

i INSIGHT ENGINEERING, INC.
4345 E. Lowell St., Suite M Ontario, CA 91761
714-404-2753 | 951-817-1212 | toty@iengr.com

PLANS PREPARED UNDER THE SUPERVISION OF:

ANTHONY VAZ
NAME: ANTHONY VAZ
R.C.E. # C-44248 (EXP. 06/30/2027)

12/1/2025
DATE

CITY OF JURUPA VALLEY

COVER SHEET
EXECUTIVE COACH BUILDERS INC.
5465-5467 28TH ST.
JURUPA VALLEY, CA 92509

ACCT. NO.

SHEET 1 OF 10

FOR: _____ W/O: _____ CITY I. D. NO. _____

SITE PLAN NOTES

1. FIRE HYDRANT TO BE LOCATED WITHIN 300' OF ALL PORTIONS OF ALL STRUCTURES.
2. ALL GATES TO HAVE 'KNOX BOX' FOR FIRE ACCESS.
3. ALL COVERED WORK STATIONS TO HAVE 'FIRE SPRINKLERS'.
4. ALL 20' WIDE FIRE LANES TO BE ONE WAY ACCESS & 24' WIDE FIRE LANES TO BE TWO WAY.
5. ALL W.Q.M.P. SITE DESIGN ITEMS TO BE ADDRESSED IN FINAL PLAN.
6. SITE TO HAVE MIN. 1 FOOT CANDLE SECURITY & SAFETY LIGHTING.
7. SITE TO HAVE A MIN. 10% LANDSCAPING.
8. ALL STREET IMPROVEMENTS TO BE INSTALLED @ STREET FRONTAGE, PER CITY STANDARDS.
9. OFFICE/BUILDING TO BE A.D.A. ACCESSIBLE & PROVIDE A.D.A. PARKING & ACCESS TO CITY SIDEWALK.
10. ALL ROOF DRAINS TO BE DIRECTED TO LANDSCAPE/ BIO SWALES.
11. LUMBER STACKS CANT EXCEED 20'X25'X15 FEE HEIGHT, AND MUST BE 20 FEET AWAY FROM EACH OTHER. PROJECT WILL COMPLY WITH CHAPTER 28 OF THE CALIFORNIA FIRE CODE.
12. A MINIMUM ON ONE 'NO SMOKING' SIGN SHALL BE POSTED AT THE FACILITY AND ADDITIONAL SIGNS IN PROCESSING AREAS. TO BE PLACED PER FIRE PREVENTION STANDARDS.
13. SITE WILL COMPLY WITH STANDARD BUILDING SECURITY SPECIFICATIONS PER COUNTY SHERIFF DEPARTMENT.
14. ALL BUILDING DRAINAGE MUST BE INTERIOR WITH NO EXTERIOR DOWNSPOUTS OR GUTTER.
15. THE DEVELOPMENT SHALL INCLUDE SUFFICIENT LIGHTING IN ALL AREAS AS TO PREVENT LOITERING, AND TRESPASSING. LIGHTING SHOULD BE SET IN A WAY AS TO NOT IMPACT THE NEIGHBORING PROPERTIES AND STREET EX, AFFIXED TO BUILDINGS OR WALLS AT A LOWER HEIGHT.
16. NO DELIVERIES MUST BE MADE TO THE PROJECT SITE BETWEEN 9PM AND 6AM.
17. NEW BUILDINGS AND CANOPY OVER 3,200 SF SHALL BE PROVIDED WITH SPRINKLERS.
18. CONNECTION TO THE PUBLIC SEWER SYSTEM WILL BE REQUIRED AND ANY EXISTING ON-SITE WASTE SYSTEM SHALL BE PROPERLY ABANDONED.
19. ALL UTILITIES SERVING WITHIN, AND ALONG THE PROJECT FRONTAGE SHALL BE PLACED UNDERGROUND, PER THE CITY'S UNDERGROUND ORDINANCE.
20. ANY EXISTING UTILITIES WILL NEED TO BE RELOCATED IF IN CONFLICT WITH ANY PROPOSED IMPROVEMENTS.
21. APPLICANT WILL BE REQUIRED TO ANNEX INTO M.L&M.D 89-1-C FOR MAINTENANCE OF LANDSCAPE AND STREETLIGHTS WITHIN THE PROJECT RIGHT-OF-WAY.
22. ALL IMPROVEMENTS IN PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT CITY REQUIREMENTS AS SPECIFIED IN THE CURRENT CITY ORDINANCE 461. THE EXISTING DRIVEWAY IN THE EAST SHALL BE IN ACCORDANCE WITH STANDARDS 207A COMMERCIAL DRIVEWAY THE EXISTING DRIVEWAY ON THE WEST SIDE SHALL BE REMOVED.

PROJECT DESCRIPTION:

- HOURS OF OPERATION- 6:00 AM TO 7:00 PM.
- OFFICE HOURS: FROM 8:00 AM TO 5:00 PM.
- TOTAL OF SIX EMPLOYEES IN ONE WORK SHIFT PER DAY.
- ESTIMATED VISITORS PER DAY 2-3 PEOPLE TOTAL.

CITY OF JURUPA VALLEY ENGINEERING DEPARTMENT APPROVED BY:	CITY OF JURUPA VALLEY ENGINEERING DEPARTMENT RECOMMENDED BY:
PAUL TOOR, CITY ENGINEER DATE _____ RCE 46281	TINA YORK, DEVELOPMENT SERVICES MANAGER DATE _____ RCE 46367

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Underground Service Alert

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1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

CITY OF JURUPA VALLEY
COMMUNITY DEVELOPMENT

8930 LIMONITE AVE.
JURUPA VALLEY, CA 92509
TEL: (951) 332-6464
EMAIL: ENGINEERING@JURUPAVALLEY.ORG

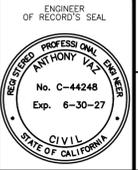
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INSIGHT ENGINEERING, INC.
 4345 E. Lowell St., Suite M Ontario, CA 91761
 714-404-2753 | 951-817-1212 | toty@iengr.com

PLANS PREPARED UNDER THE SUPERVISION OF:

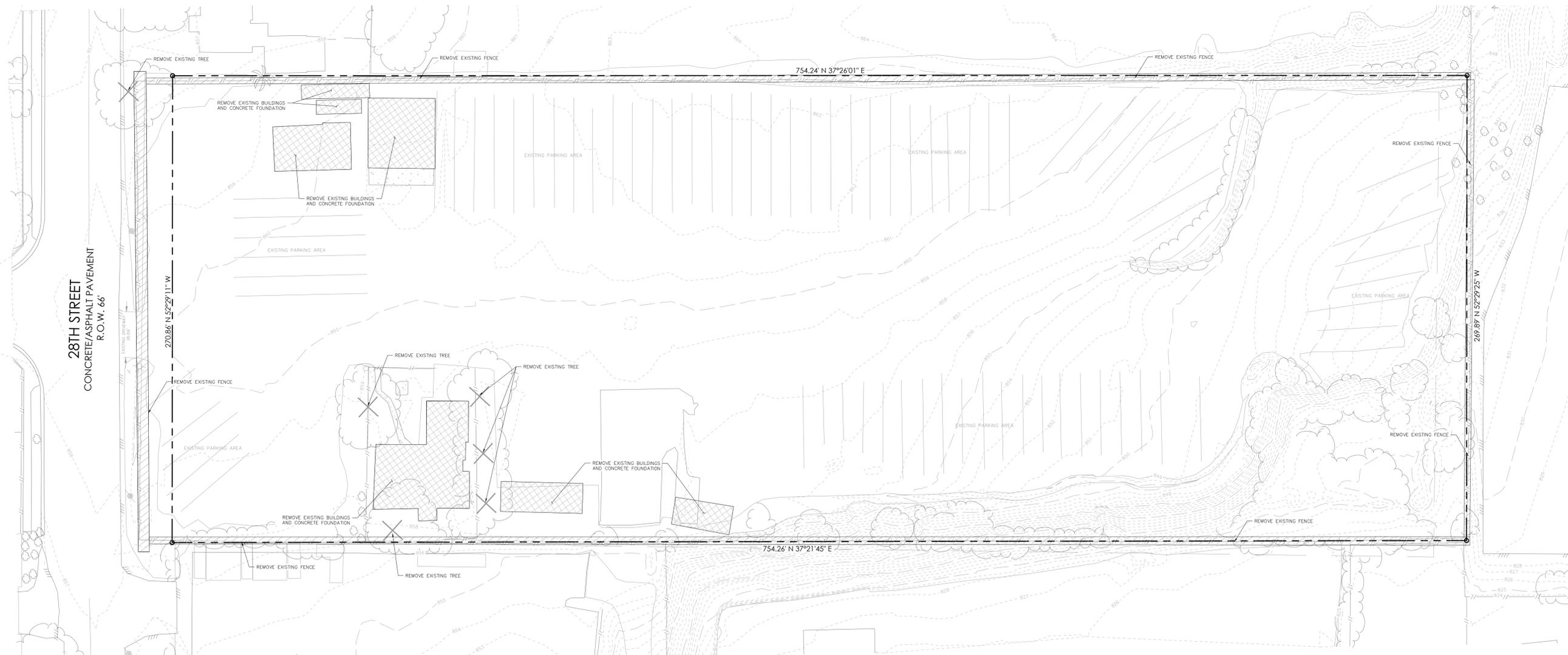
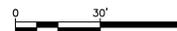
ANTHONY VAZ 12/1/2025
 NAME DATE
 R.C.E. # C-44248 (EXP. 06/30/2027)

CITY OF JURUPA VALLEY

COVER SHEET
 EXECUTIVE COACH BUILDERS INC.
 5465-5467 28TH ST.
 JURUPA VALLEY, CA 92509

FOR: _____ W.O. _____ CITY I. D. NO. _____

ACCT. NO.	
SHEET 1.1 OF 10	



DEMOLITION NOTES

- REMOVE EXISTING FENCE
- REMOVE EXISTING TREE
- REMOVE EXISTING BUILDING AND CONCRETE FOUNDATION

QUANTITY

- 2,060.20 LF
- 6 EA
- 7,410.29 SF

DEMOLITION

SCALE: 1" = 30'

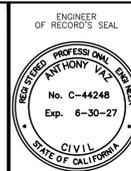
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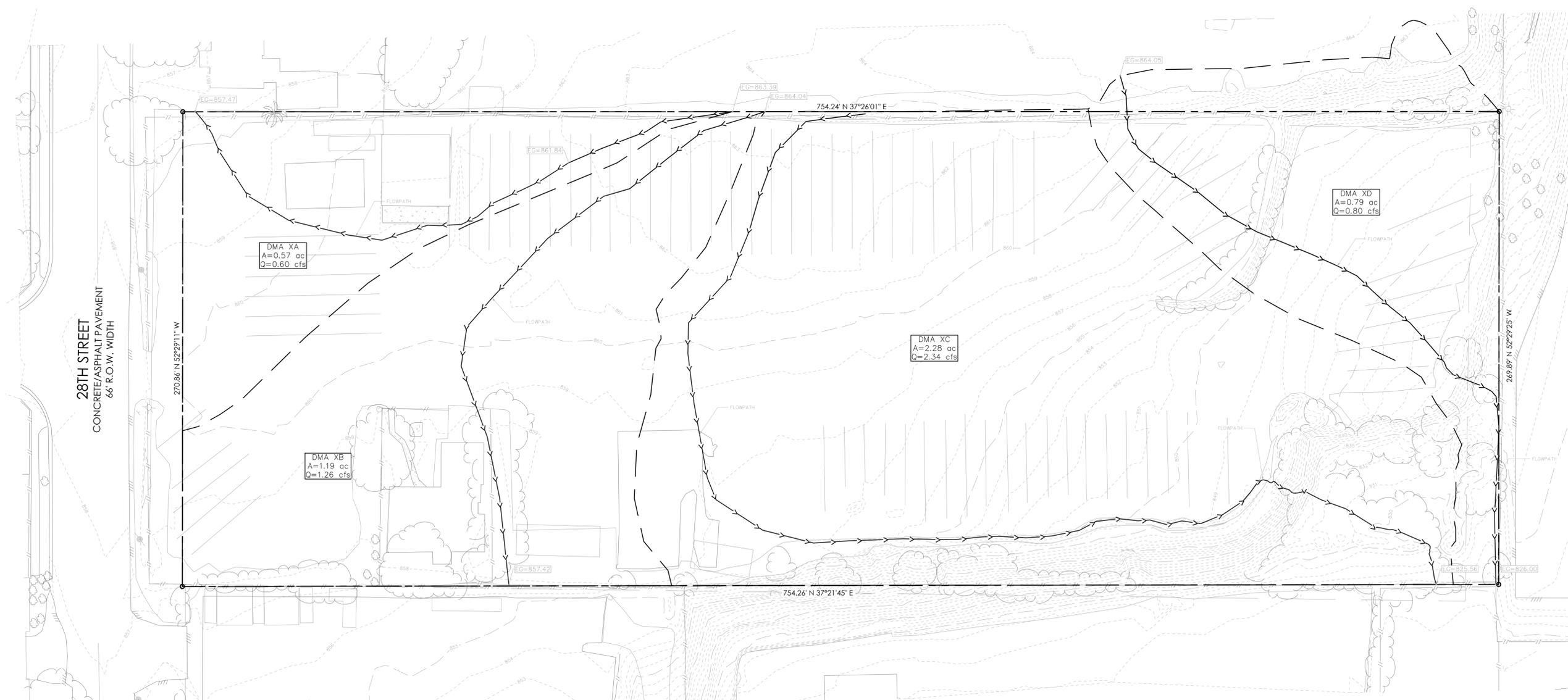
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 714-404-2753 | 951-817-1212 | tony@iengr.com
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 ANTHONY VAZ
 NAME: ANTHONY VAZ
 R.C.E. # C-44248 (EXP. 06/30/2027)
 DATE: 12/01/2025

CITY OF JURUPA VALLEY
 DEMOLITION
 EXECUTIVE COACH BUILDERS INC.
 5465-5467 28TH ST.
 JURUPA VALLEY, CA 92509
 CITY I. D. NO. _____

ACCT. NO. _____
 SHEET 2 OF 10



EXISTING DRAINAGE AREA MAP

SCALE: 1" = 30'

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Underground Service Alert
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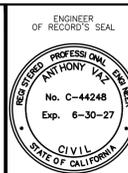


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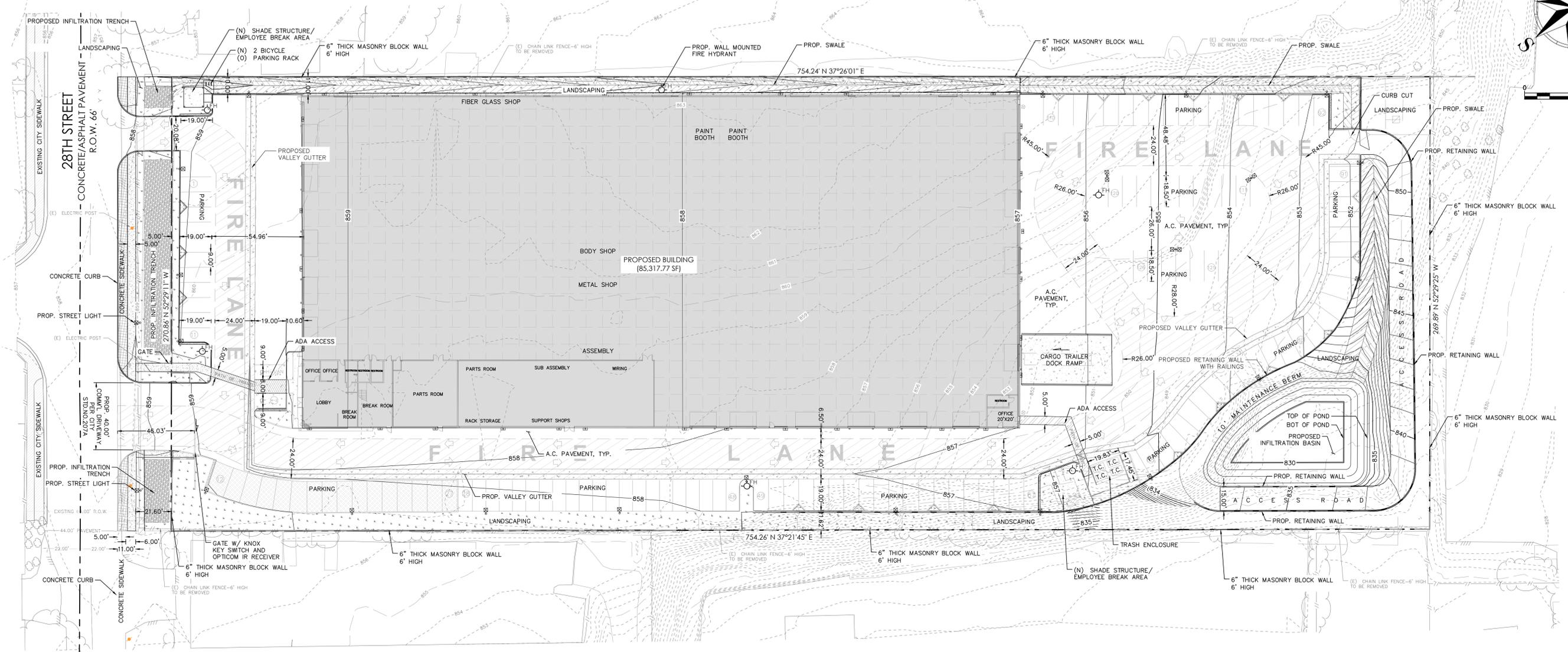
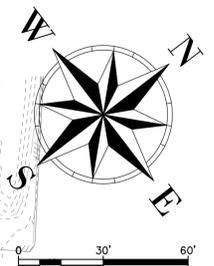
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ANTHONY VAZ
NAME: ANTHONY VAZ
R.C.E. # C-44248 (EXP. 06/30/2027)

12/01/2025
DATE

CITY OF JURUPA VALLEY
EXISTING DRAINAGE AREA MAP
EXECUTIVE COACH BUILDERS INC.
5465-5467 28TH ST.
JURUPA VALLEY, CA 92509

FOR: _____ W.O. _____ CITY I. D. NO. _____

ACCT. NO. _____
SHEET 3 OF 10



NOTES

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- ESTIMATED VISITORS PER DAY 2-3 PEOPLE TOTAL.

SITE PLAN
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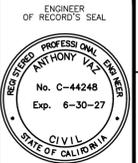
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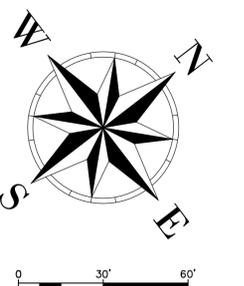
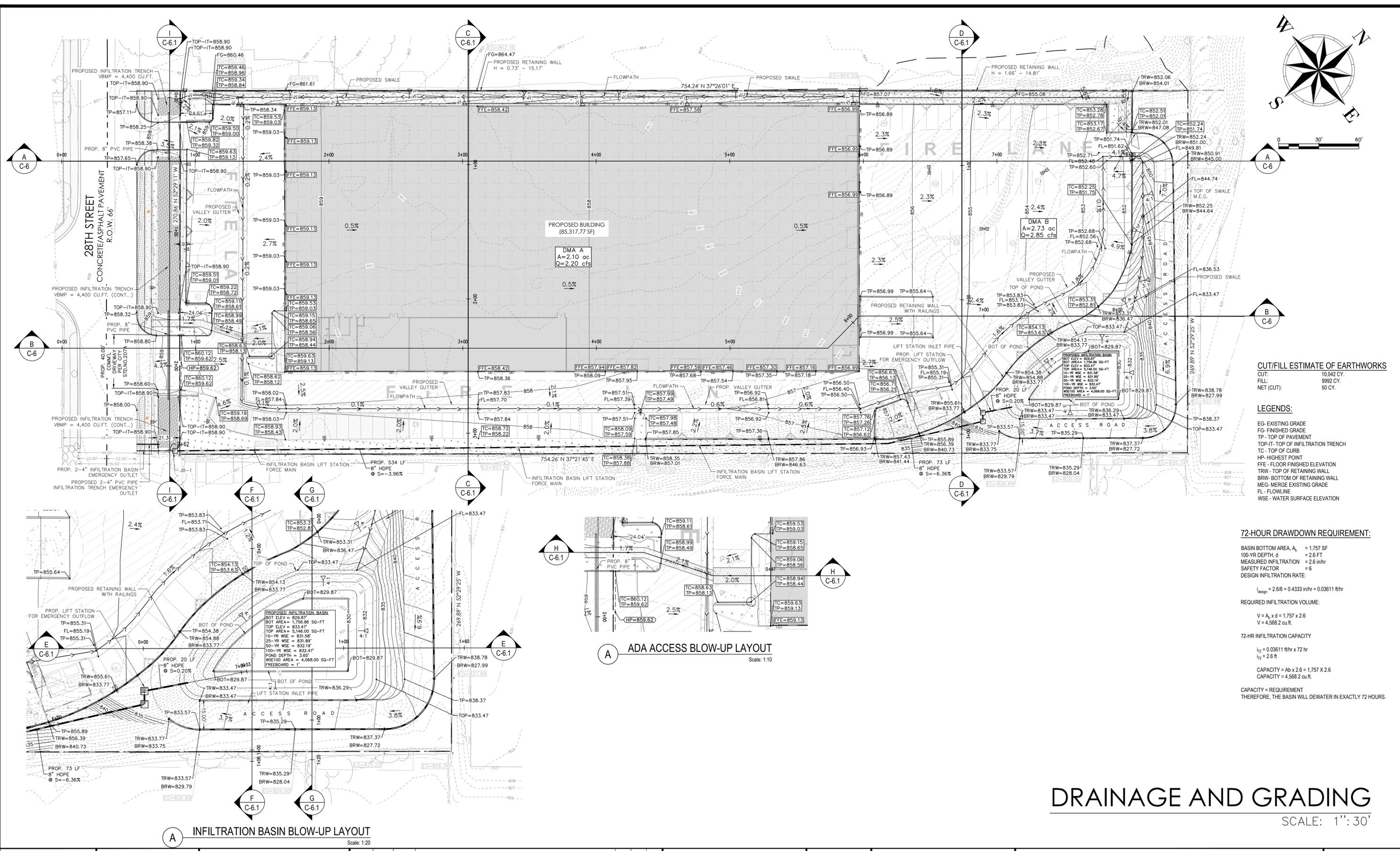
PLANS PREPARED UNDER THE SUPERVISION OF:
12/1/2025
DATE

NAME: R.C.E. # C-44248 (EXP. 06/30/2027)

CITY OF JURUPA VALLEY

SITE PLAN
EXECUTIVE COACH BUILDERS INC.
5465-5467 28TH ST.
JURUPA VALLEY, CA 92509

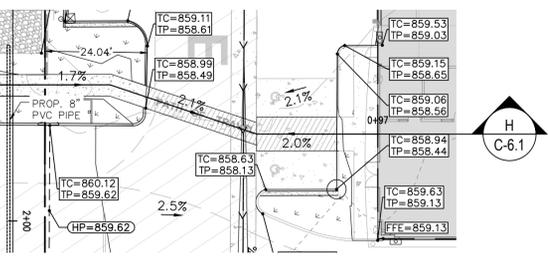
ACCT. NO. _____
SHEET **4** OF **10**
CITY I. D. NO. _____



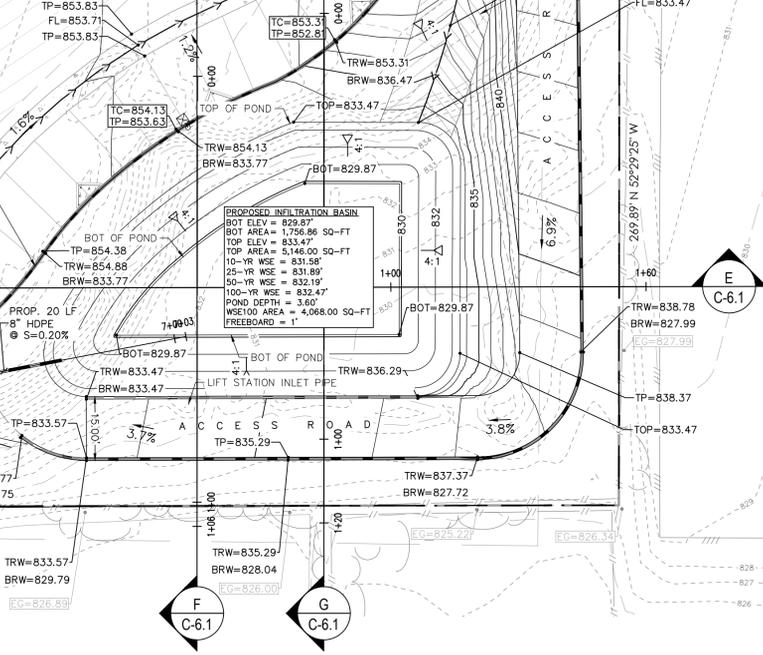
CUT/FILL ESTIMATE OF EARTHWORKS
 CUT: 10,042 CY.
 FILL: 9992 CY.
 NET (CUT): 90 CY.

LEGENDS:
 EG- EXISTING GRADE
 FG- FINISHED GRADE
 TP - TOP OF PAVEMENT
 TOP-IT- TOP OF INFILTRATION TRENCH
 TC - TOP OF CURB
 HP- HIGHEST POINT
 FFE - FLOOR FINISHED ELEVATION
 TRW - TOP OF RETAINING WALL
 BRW- BOTTOM OF RETAINING WALL
 MEG- MERGE EXISTING GRADE
 FL- FLOWLINE
 WSE- WATER SURFACE ELEVATION

72-HOUR DRAWDOWN REQUIREMENT:
 BASIN BOTTOM AREA, A_b = 1,757 SF
 100-YR DEPTH, d = 2.6 FT
 MEASURED INFILTRATION = 2.6 in/hr
 SAFETY FACTOR = 6
 DESIGN INFILTRATION RATE:
 $i_{design} = 2.6/6 = 0.4333 \text{ in/hr} = 0.03611 \text{ ft/hr}$
 REQUIRED INFILTRATION VOLUME:
 $V = A_b \times d = 1,757 \times 2.6 = 4,568.2 \text{ cu.ft.}$
 72-HR INFILTRATION CAPACITY
 $i_{72} = 0.03611 \text{ ft/hr} \times 72 \text{ hr} = 2.6 \text{ ft}$
 CAPACITY = $A_b \times 2.6 = 1,757 \times 2.6 = 4,568.2 \text{ cu.ft.}$
 CAPACITY = REQUIREMENT
 THEREFORE, THE BASIN WILL DEWATER IN EXACTLY 72 HOURS.

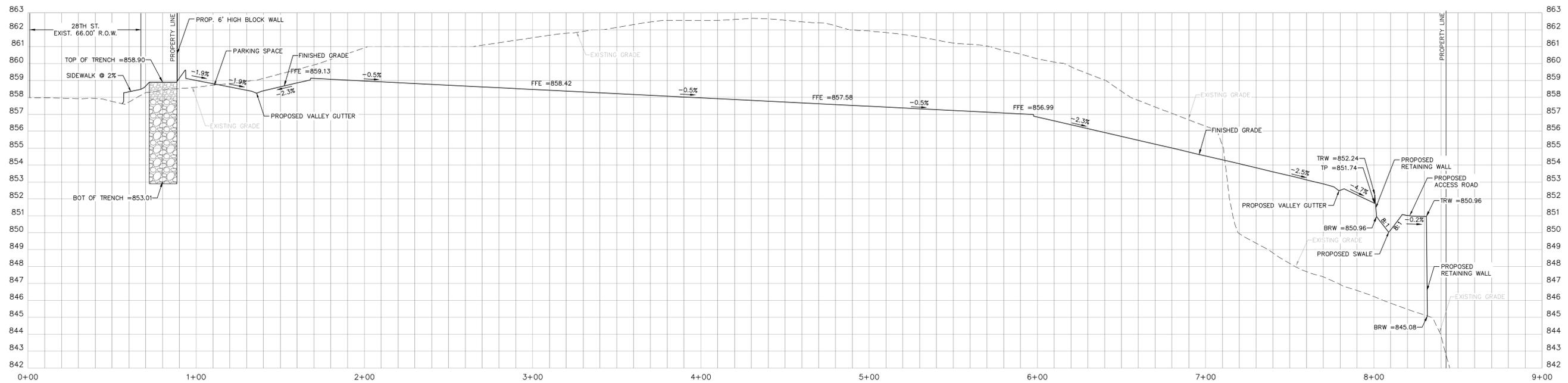


A ADA ACCESS BLOW-UP LAYOUT
 Scale: 1:10



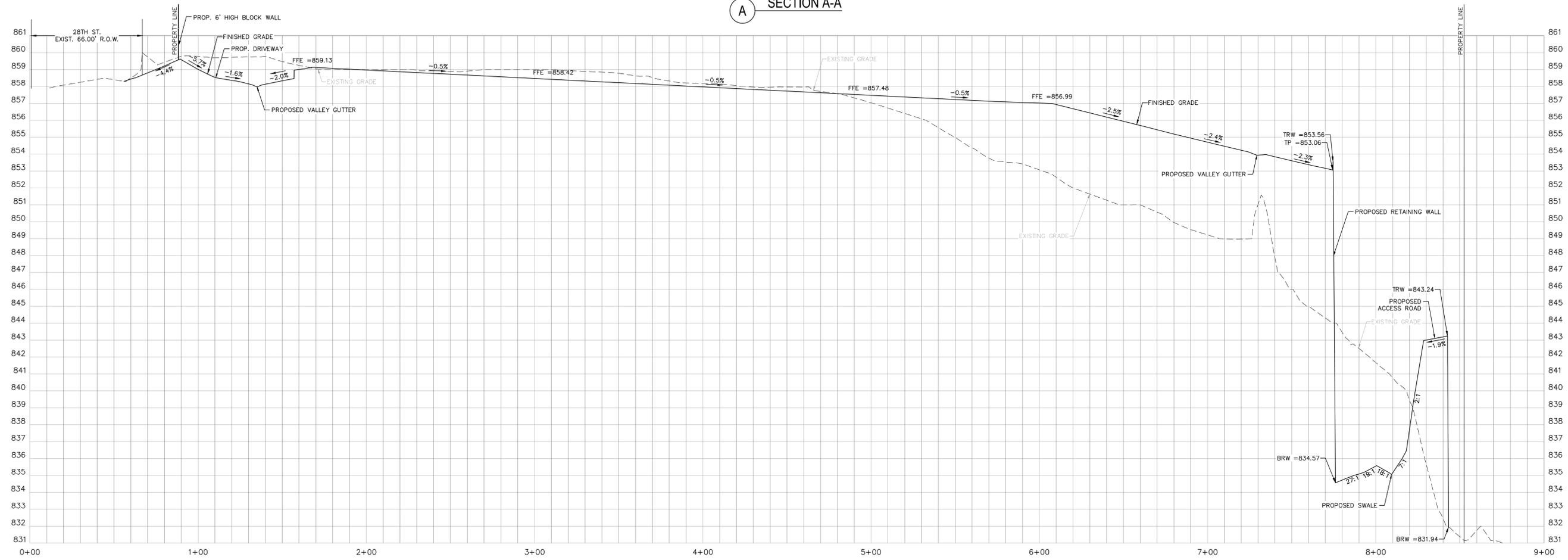
A INFILTRATION BASIN BLOW-UP LAYOUT
 Scale: 1:20

<p>NO WORK SHALL BE DONE ON THIS SITE UNTIL BELOW AGENCY IS NOTIFIED OF INTENTION TO GRADE OR EXCAVATE.</p> <p>Underground Service Alert Call: TOLL FREE 1-800-227-2600</p> <p>TWO WORKING DAYS BEFORE YOU DIG</p>	<p>8930 LIMONITE AVE. JURUPA VALLEY, CA 92509 TEL: (951) 332-6464 EMAIL: ENGINEERING@JURUPAVALLEY.ORG</p>	<p>IMPORTANT NOTE: THE GRADING AND/OR IMPROVEMENT PLANS ARE APPROVED FOR A PERIOD OF TWO (2) YEARS FROM THE DATE SIGNED BY THE CITY ENGINEER. AFTER THE TWO (2) YEAR PERIOD HAS LAPSED, THE ENGINEER OF RECORD MAY BE REQUIRED TO SUBMIT AND PROCESS FOR CITY ENGINEER APPROVAL, UPDATED PLANS THAT COMPLY WITH THE MOST CURRENT CITY STANDARDS, PRACTICES, AND POLICIES.</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>MARK</th> <th>DATE</th> <th>INITIAL</th> <th>DESCRIPTION</th> <th>REC.</th> <th>APPR</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td>E.O.R.</td> <td>REVISION</td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	MARK	DATE	INITIAL	DESCRIPTION	REC.	APPR	DATE			E.O.R.	REVISION				<p>BENCHMARK: DESIGNATION: ML-4-64 3" ALUM DISK SET ON 1"x2.5" CONC. POST. 246" SW OF 28TH AVE. & SE OF HALL AVE. DATUM: NAVD83 ELEVATION: 854.814 FT YEAR LEVELED: 1971</p> <p>BASIS OF BEARING: THE CENTERLINE OF HALL AVENUE HAVING A BEARING OF N37°21'45"E AS SHOWN ON PARCEL MAP 16773, BOOK 13, PAGE 63 OF PARCEL MAPS RECORDED IN THE COUNTY OF RIVERSIDE RECORDER'S OFFICE.</p>	<p>ENGINEER OF RECORD'S SEAL</p>	<p>INSIGHT ENGINEERING, INC. 4345 E. Lowell St., Suite M Ontario, CA 91761 714-404-2753 951-817-1212 tony@iengr.com</p> <p>PLANS PREPARED UNDER THE SUPERVISION OF:</p> <p>ANTHONY VAZ NAME R.C.E. # C-44248 (EXP. 06/30/2027)</p> <p>12/01/2025 DATE</p>	<p>CITY OF JURUPA VALLEY DRAINAGE AND GRADING EXECUTIVE COACH BUILDERS INC. 5465-5467 28TH ST. JURUPA VALLEY, CA 92509</p>	<p>ACCT. NO.</p> <p>SHEET <u>5</u> OF <u>10</u></p> <p>CITY I. D. NO.</p>
MARK	DATE	INITIAL	DESCRIPTION	REC.	APPR	DATE																
		E.O.R.	REVISION																			



SCALE 1"=30 H, 1"=3 V

(A) SECTION A-A



SCALE 1"=30 H, 1"=3 V

(B) SECTION B-B

GRADING AND CROSS SECTION 1

SCALE: 1"=30'

NO WORK SHALL BE DONE ON THIS SITE UNTIL BELOW AGENCY IS NOTIFIED OF INTENTION TO GRADE OR EXCAVATE.

Underground Service Alert
Call: TOLL FREE 1-800-227-2600
TWO WORKING DAYS BEFORE YOU DIG

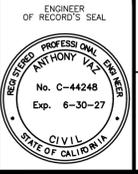
8930 LIMONITE AVE.
JURUPA VALLEY, CA 92509
TEL: (951) 332-6464
EMAIL: ENGINEERING@JURUPAVALLEY.ORG

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INSIGHT ENGINEERING, INC.
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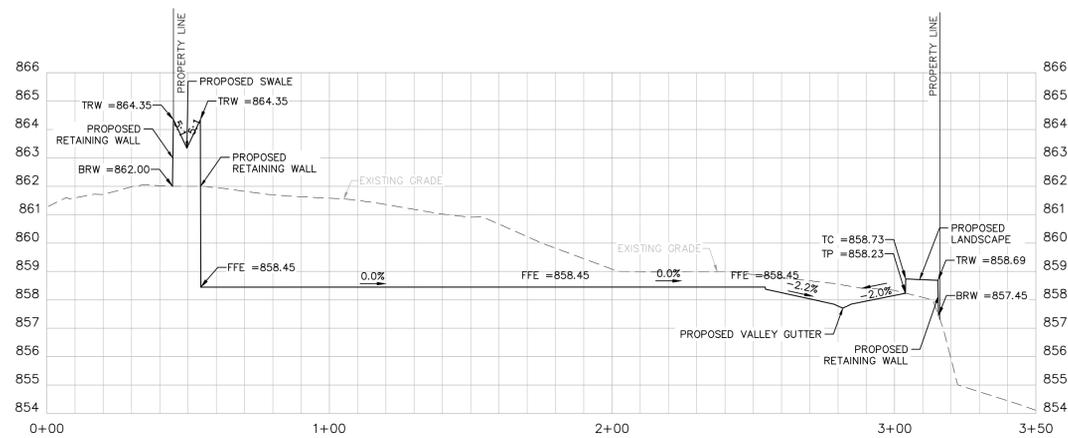
PLANS PREPARED UNDER THE SUPERVISION OF:
ANTHONY VAZ
NAME: ANTHONY VAZ
R.C.E. # C-44248 (EXP. 06/30/2027)

12/01/2025
DATE

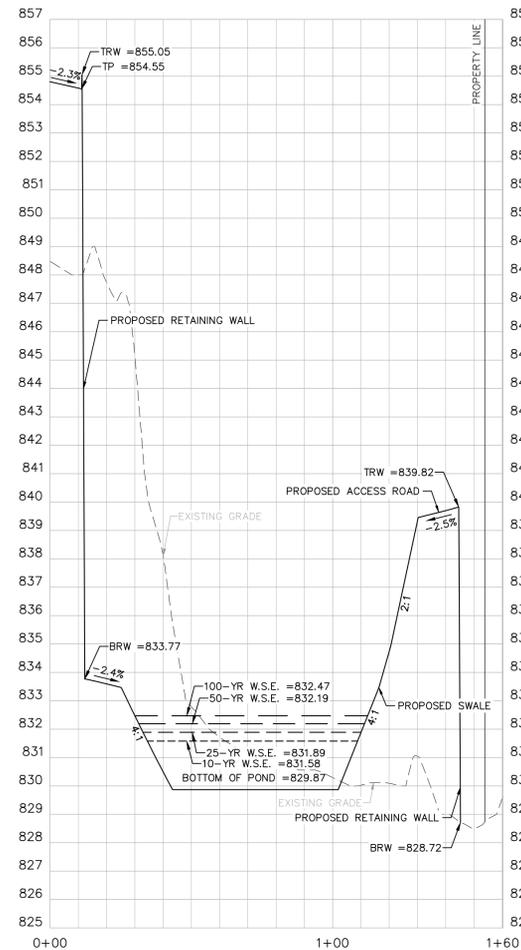
CITY OF JURUPA VALLEY
GRADING AND CROSS SECTION 1
EXECUTIVE COACH BUILDERS INC.
5465-5467 28TH ST.
JURUPA VALLEY, CA 92509

FOR: _____ W/O: _____ CITY I. D. NO. _____

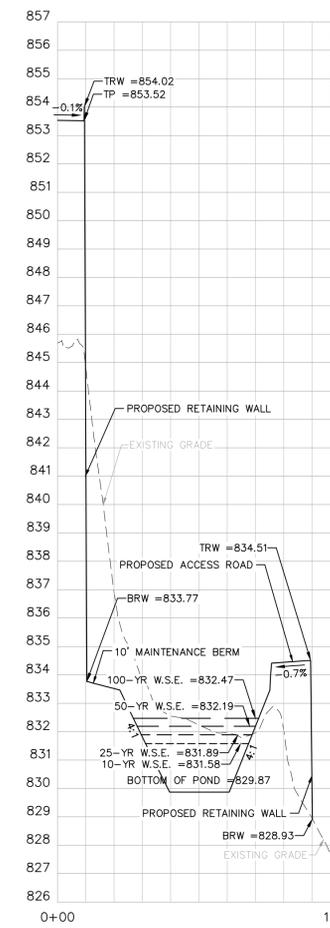
ACCT. NO. _____
SHEET 6 OF 10



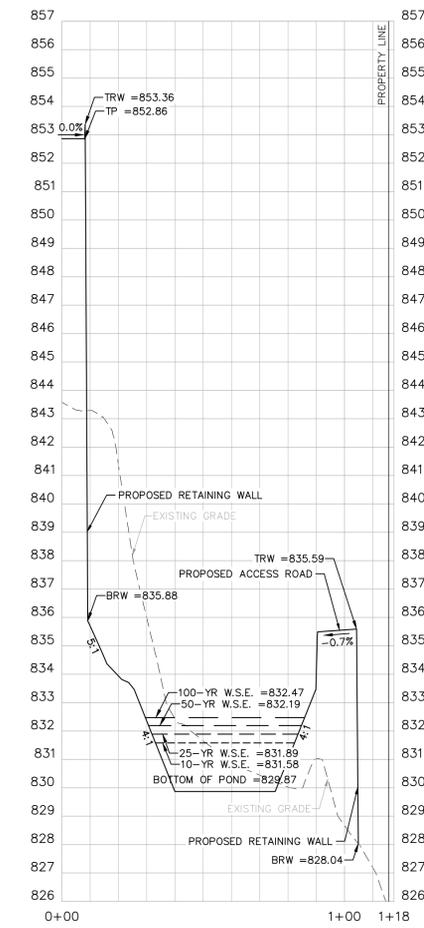
SCALE 1"=30 H, 1"=3 V
(B) SECTION C-C



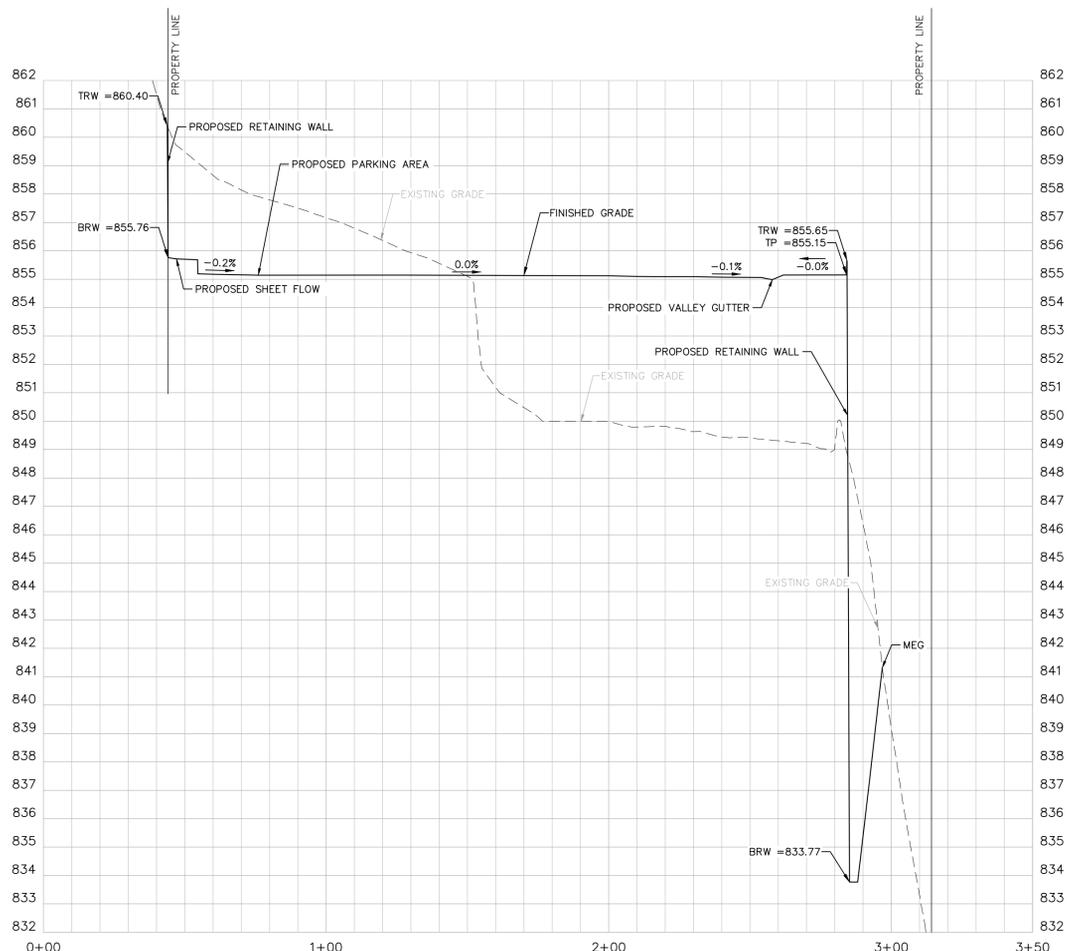
SCALE 1"=30 H, 1"=3 V
(B) SECTION E-E



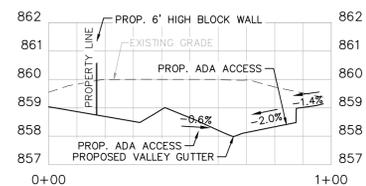
SCALE 1"=30 H, 1"=3 V
(B) SECTION F-F



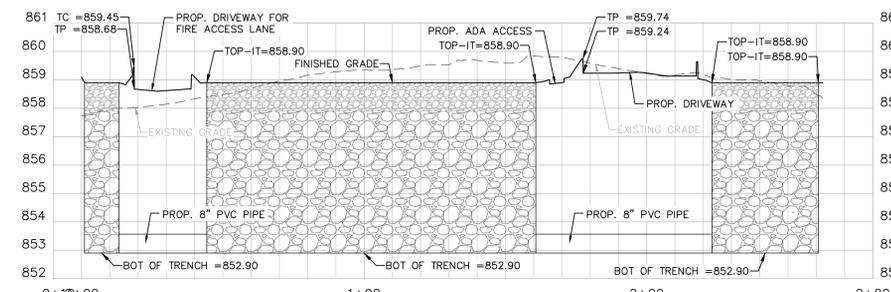
SCALE 1"=30 H, 1"=3 V
(B) SECTION G-G



SCALE 1"=30 H, 1"=3 V
(B) SECTION D-D



SCALE 1"=30 H, 1"=3 V
(B) SECTION H-H



SCALE 1"=30 H, 1"=3 V
(B) SECTION I-I

GRADING AND CROSS SECTION 2

SCALE: 1"=30'

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ENGINEER OF RECORD'S SEAL

ANTHONY VAZ
 CIVIL ENGINEER
 No. C-44248
 Exp. 6-30-27
 STATE OF CALIFORNIA

INSIGHT ENGINEERING, INC.
 4345 E. Lowell St., Suite M Ontario, CA 91761
 714-404-2753 | 951-817-1212 | tony@iengr.com

PLANS PREPARED UNDER THE SUPERVISION OF:

ANTHONY VAZ
 NAME: ANTHONY VAZ
 R.C.E. # C-44248 (EXP. 06/30/2027)

12/01/2025
 DATE

CITY OF JURUPA VALLEY
 GRADING AND CROSS SECTION 2
 EXECUTIVE COACH BUILDERS INC.
 5465-5467 28TH ST.
 JURUPA VALLEY, CA 92509

FOR: _____ W.O. _____ CITY I. D. NO. _____

ACCT. NO. _____

SHEET **6.1** OF **10**



SCALE 1"=30 H, 1"=3 V

B SECTION J-J

GRADING AND CROSS SECTION 3

SCALE: 1":30'

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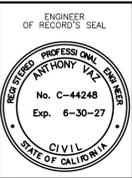
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ANTHONY VAZ
NAME: ANTHONY VAZ
R.C.E. # C-44248 (EXP. 06/30/2027)

12/01/2025
DATE

CITY OF JURUPA VALLEY
GRADING AND CROSS SECTION 3
EXECUTIVE COACH BUILDERS INC.
5465-5467 28TH ST.
JURUPA VALLEY, CA 92509

FOR: _____ W.O: _____ CITY I. D. NO. _____

ACCT. NO.
SHEET 6.2 OF 10

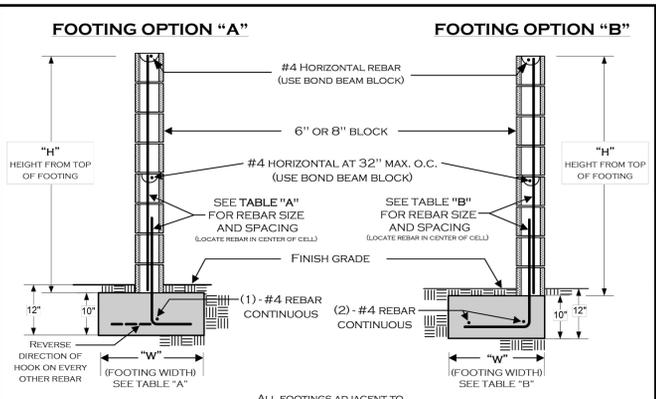


TABLE "A"			TABLE "B"		
"H"	"W"	VERTICAL REINFORCEMENT	"H"	"W"	VERTICAL REINFORCEMENT
3'	17"	#4 @ 48" O.C.	3'	19"	#4 @ 48" O.C.
4'	20"	#4 @ 48" O.C.	4'	22"	#4 @ 48" O.C.
5'	23"	#4 @ 48" O.C.	5'	29"	#4 @ 48" O.C.
6'	29"	#4 @ 24" O.C.	6'	34"	#4 @ 24" O.C.

- NOTES:**
- This design does **not** allow grade differentials of more than 6" on opposing sides of the wall. This is **not** a retaining wall.
 - Fence/wall heights are regulated – consult zoning regulations and obtain a permit before beginning construction.
 - No water course or natural drainage shall be obstructed.
 - Grout **only** the cells containing rebar. This wall is not designed for all cells to be grouted.
 - All rebar to be ASTM spec. A615, grade 40 minimum.
 - All rebar lap splices to be 24" minimum.
 - All masonry units to be ASTM C-90 grade N.
 - Rebar to be centered in masonry cells.

The City of Jurupa Valley requires a building permit for all block walls over three feet in height measured from the top of footing to top of wall.

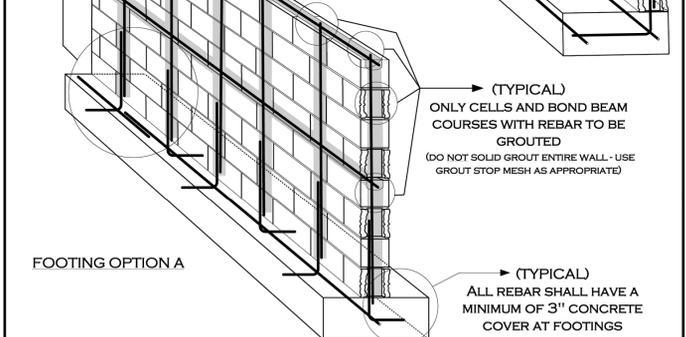
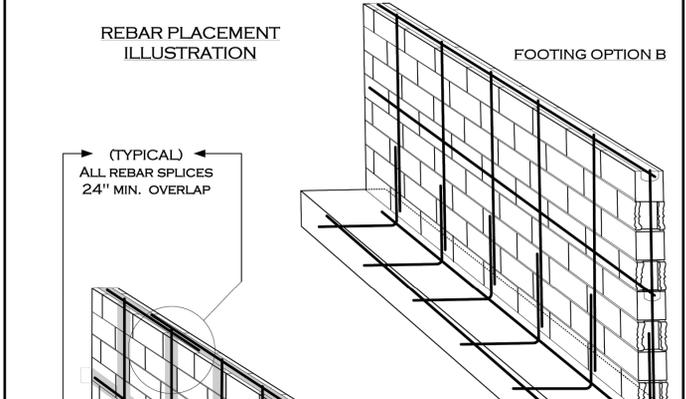
When a permit is required, the following inspections are required:

- FOOTING:** Excavation trench clean with steel in place and supported 3" above and away from the surrounding earth/dirt.
- REBAR/PRE-GROUT:** Bond beam rebar and vertical rebar in place - inspection prior to placing grout.
- FINAL:** After grout is placed - prior to any decorative cap placement.

SEE PAGE 2 FOR ADDITIONAL INFORMATION

DISCLAIMER:
Alternate designs may be possible when provided with an engineered analysis. Use of this standard design is at the user's risk and carries no implied or inferred guarantee against failure or defects.

	CITY OF JURUPA VALLEY BUILDING DEPARTMENT 8930 LIMONITE AVE. JURUPA VALLEY, CA 92509
(951) 332-6464	FREESTANDING BLOCK WALL
FAX (951) 332-6995	5/12/2021 WWW.JURUPAVALLEY.ORG PAGE 1 OF 2



DESIGN PARAMETERS:
THIS WALL STANDARD DESIGN REQUIRES THAT THE FOOTING SHALL BE SUPPORTED BY FIRM UNDISTURBED NATURAL SOIL, FILL SOILS OR OTHER QUESTIONABLE SOILS MAY REQUIRE ADDITIONAL ENGINEERING TO BE SUBMITTED, REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT.

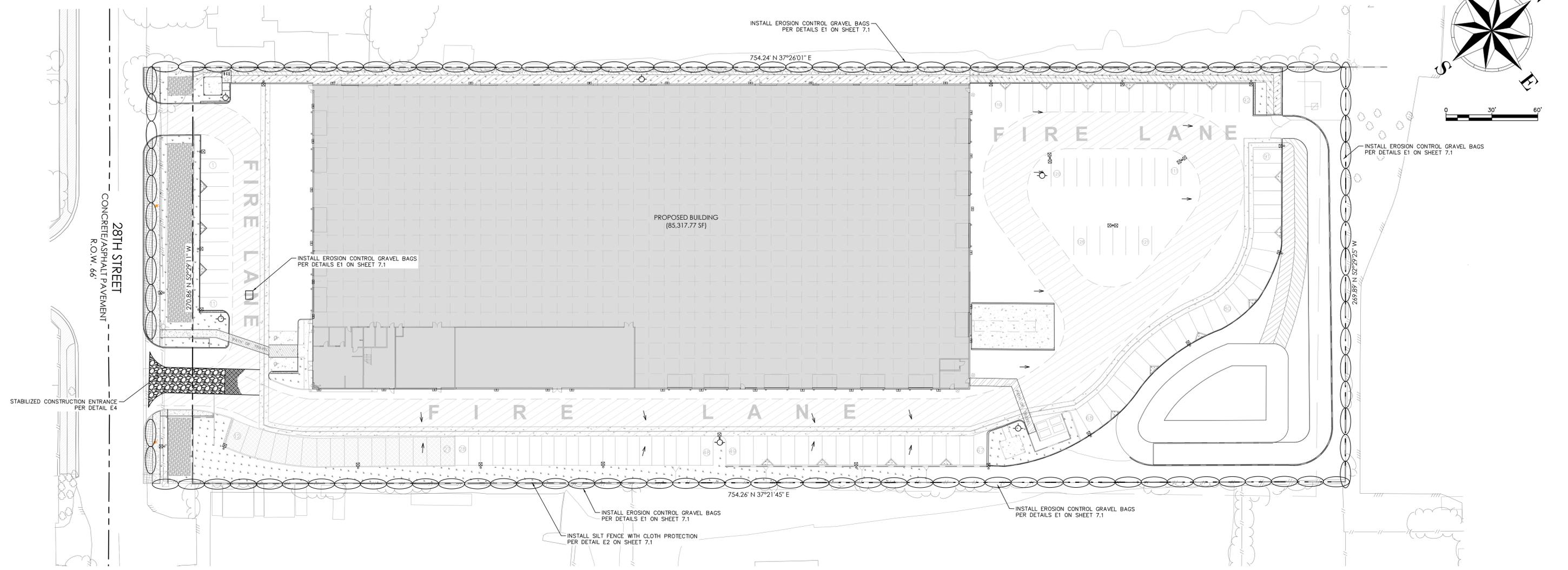
ALLOWABLE SOIL BEARING (PSF) = 1500

	CITY OF JURUPA VALLEY BUILDING DEPARTMENT 8930 LIMONITE AVE. JURUPA VALLEY, CA 92509
(951) 332-6464	FREESTANDING BLOCK WALL
FAX (951) 332-6995	5/12/2021 WWW.JURUPAVALLEY.ORG PAGE 2 OF 2

GRADING AND CROSS SECTION 4

SCALE: 1" = 30'

<p>NO WORK SHALL BE DONE ON THIS SITE UNTIL BELOW AGENCY IS NOTIFIED OF INTENTION TO GRADE OR EXCAVATE.</p> <p>Underground Service Alert Call: TOLL FREE 1-800-227-2600</p> <p>TWO WORKING DAYS BEFORE YOU DIG</p>	<p>8930 LIMONITE AVE. JURUPA VALLEY, CA 92509 TEL: (951) 332-6464 EMAIL: ENGINEERING@JURUPAVALLEY.ORG</p>	<p>IMPORTANT NOTE: THE GRADING AND/OR IMPROVEMENT PLANS ARE APPROVED FOR A PERIOD OF TWO (2) YEARS FROM THE DATE SIGNED BY THE CITY ENGINEER. AFTER THE TWO (2) YEAR PERIOD HAS LAPSED, THE ENGINEER OF RECORD MAY BE REQUIRED TO SUBMIT AND PROCESS FOR CITY ENGINEER APPROVAL, UPDATED PLANS THAT COMPLY WITH THE MOST CURRENT CITY STANDARDS, PRACTICES, AND POLICIES.</p>	<table border="1"> <tr> <th>MARK</th> <th>DATE</th> <th>INITIAL</th> <th>DESCRIPTION</th> <th>REC.</th> <th>APPR</th> <th>DATE</th> </tr> <tr> <td></td> <td></td> <td>E.O.R.</td> <td>REVISION</td> <td></td> <td></td> <td></td> </tr> </table>	MARK	DATE	INITIAL	DESCRIPTION	REC.	APPR	DATE			E.O.R.	REVISION				<p>BENCHMARK: DESIGNATION: ML-4-64 3" ALUM DISK SET ON 1"X2.5' CONC. POST. 246' 5W OF 28TH AVE. & SE OF HALL AVE. DATUM: NAVD83 ELEVATION: 854.814 FT YEAR LEVELED: 1971</p> <p>BASIS OF BEARING: THE CENTERLINE OF HALL AVENUE HAVING A BEARING OF N37°21'45"E AS SHOWN ON PARCEL MAP 16773, BOOK 13, PAGE 63 OF PARCEL MAPS RECORDED IN THE COUNTY OF RIVERSIDE RECORDER'S OFFICE.</p>	<p>ENGINEER OF RECORD'S SEAL</p>	<p>INSIGHT ENGINEERING, INC. 4345 E. Lowell St., Suite M Ontario, CA 91761 714-404-2753 951-817-1212 tony@iengr.com</p> <p>PLANS PREPARED UNDER THE SUPERVISION OF:</p> <p>ANTHONY VAZ NAME: ANTHONY VAZ R.C.E. # C-44248 (EXP. 06/30/2027)</p> <p>12/01/2025 DATE</p>	<p>CITY OF JURUPA VALLEY GRADING AND CROSS SECTION 4 EXECUTIVE COACH BUILDERS INC. 5465-5467 28TH ST. JURUPA VALLEY, CA 92509</p>	<p>ACCT. NO.</p> <p>SHEET 6.3 OF 10</p>
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		E.O.R.	REVISION																			
<p>FOR:</p>	<p>CITY I. D. NO.</p>																					



STORMWATER POLLUTION CONTROL GENERAL NOTES FOR STORM DRAIN CONSTRUCTION

- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- BMPs AS SHOWN ON THIS PLAN, BUT NOT LIMITED TO, THE LATEST EDITION OF THE CASQA MANUAL MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE CITY OF JURUPA VALLEY.

CIVIL ENGINEER'S NOTES:

- THE GENERAL CONTRACTOR AND PROPERTY OWNER ARE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL THROUGHOUT THE YEAR.
- CONTRACTOR & PROPERTY OWNER SHALL READ AND IMPLEMENT NOTES 1-9 SHOWN HEREON.
- PRIOR TO CONSTRUCTION MEETING, EROSION CONTROL MEASURES, INCLUDING FENCING, MUST BE IN PLACE.

EROSION CONTROL NOTES

EROSION CONTROL NOTES	QUANTITY
INSTALL EROSION CONTROL GRAVEL BAGS PER DETAILS E1.	1,900 LF
INSTALL CONCRETE WASTE MANAGEMENT AREA PER DETAIL E3.	1 EA
INSTALL SILT FENCE WITH CLOTH PROTECTION PER DETAIL E2.	1,900 LF
STABILIZED CONSTRUCTION ENTRANCE PER DETAIL E4.	1 EA

EQUIPMENT TRACKING CONTROL

TC1 STABILIZED CONSTRUCTION ENTRANCE EXIT

TEMPORARY SEDIMENT CONTROL

SE1 SILT FENCE
SE2 SEDIMENT BASIN
SE3 SEDIMENT TRAP
SE4 CHECK DAM

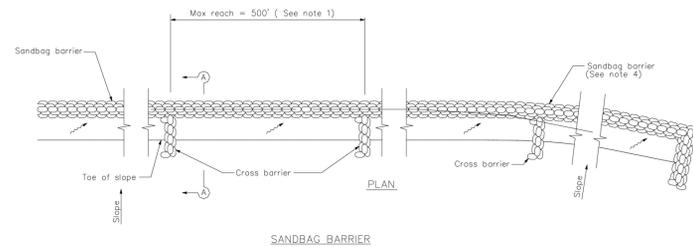
WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

WMB CONCRETE WASTE MANAGEMENT

EROSION AND SEDIMENT CONTROL

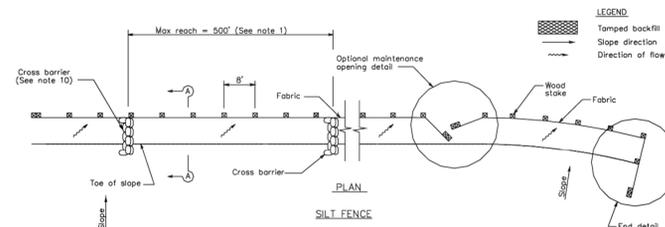
SCALE: 1" = 30'

<p>NO WORK SHALL BE DONE ON THIS SITE UNTIL BELOW AGENCY IS NOTIFIED OF INTENTION TO GRADE OR EXCAVATE.</p> <p>Underground Service Alert</p> <p>Call: TOLL FREE 1-800-227-2600</p> <p>TWO WORKING DAYS BEFORE YOU DIG</p>	<p>8930 LIMONITE AVE. JURUPA VALLEY, CA 92509 TEL: (951) 332-6464 EMAIL: ENGINEERING@JURUPAVALLEY.ORG</p>	<p>IMPORTANT NOTE:</p> <p>THE GRADING AND/OR IMPROVEMENT PLANS ARE APPROVED FOR A PERIOD OF TWO (2) YEARS FROM THE DATE SIGNED BY THE CITY ENGINEER. AFTER THE TWO (2) YEAR PERIOD HAS LAPSED, THE ENGINEER OF RECORD MAY BE REQUIRED TO SUBMIT AND PROCESS PLANS THAT COMPLY WITH THE MOST CURRENT CITY STANDARDS, PRACTICES, AND POLICIES.</p>	<table border="1"> <thead> <tr> <th>MARK</th> <th>DATE</th> <th>INITIAL</th> <th>DESCRIPTION</th> <th>REC.</th> <th>APPR.</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td>E.O.R.</td> <td>REVISION</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	MARK	DATE	INITIAL	DESCRIPTION	REC.	APPR.	DATE			E.O.R.	REVISION				<p>BENCHMARK:</p> <p>DESIGNATION: ML-4-64 3" ALUM DISK SET ON 1"X2.5" CONC. POST. 246" SW OF 28TH AVE. & SE OF HALL AVE. DATUM: NAVD83 ELEVATION: 854.814 FT YEAR LEVELED: 1971</p> <p>BASIS OF BEARING:</p> <p>THE CENTERLINE OF HALL AVENUE HAVING A BEARING OF N37°21'45"E AS SHOWN ON PARCEL MAP 16773, BOOK 13, PAGE 63 OF PARCEL MAPS RECORDED IN THE COUNTY OF RIVERSIDE RECORDER'S OFFICE.</p>	<p>ENGINEER OF RECORD'S SEAL</p>	<p>INSIGHT ENGINEERING, INC.</p> <p>4345 E. Lowell St., Suite M Ontario, CA 91761 714-404-2753 951-817-1212 tony@iengr.com</p> <p>PLANS PREPARED UNDER THE SUPERVISION OF:</p> <p>ANTHONY VAZ 12/1/2025 NAME DATE R.C.E. # C-44248 (EXP. 06/30/2027)</p>	<p>CITY OF JURUPA VALLEY</p> <p>EROSION AND SEDIMENT CONTROL</p> <p>EXECUTIVE COACH BUILDERS INC. 5465-5467 28TH ST. JURUPA VALLEY, CA 92509</p>	<p>ACCT. NO.</p> <p>SHEET 7 OF 10</p> <p>CITY I. D. NO.</p>
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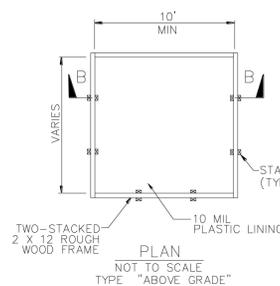
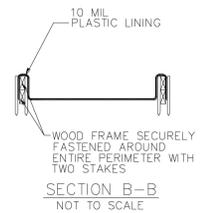
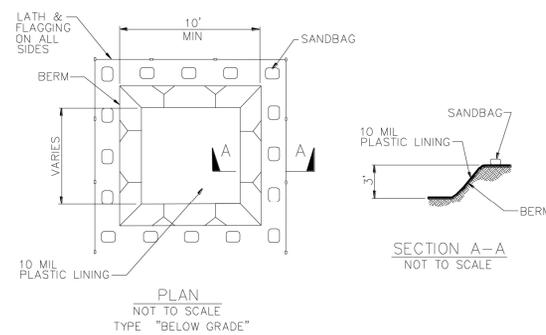
- NOTES**
- Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/2 the height of the linear barrier. In no case shall the reach length exceed 500'.
 - Place sandbags tightly.
 - Dimension may vary to fit field condition.
 - Sandbag barrier shall be a minimum of 3 bags high.
 - The end of the barrier shall be turned up slope.
 - Cross barriers shall be a min of 1/2 and a max of 2/3 the height of the linear barrier.
 - Sandbag rows and layers shall be staggered to eliminate gaps.

E1 **SANDBAG BARRIER SE-8**
Scale: NTS



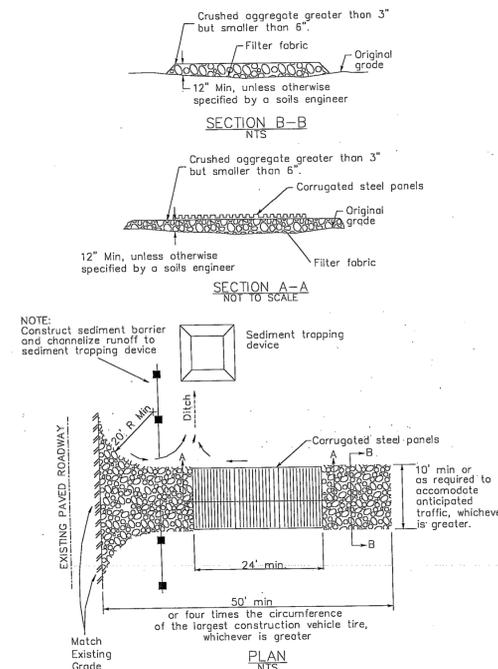
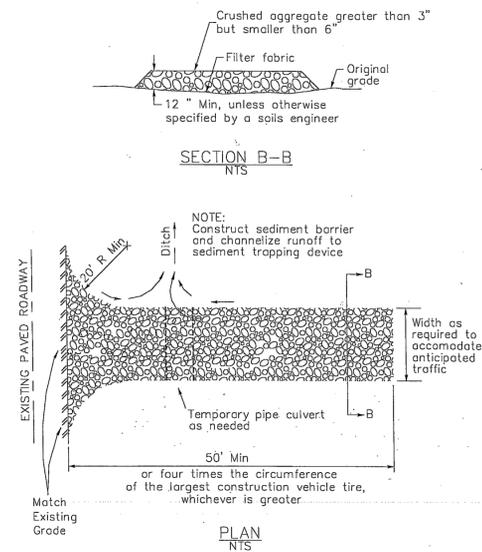
- NOTES**
- Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/2 the height of the linear barrier. In no case shall the reach length exceed 500'.
 - The last 8'-0" of fence shall be turned up slope.
 - Stake dimensions are nominal.
 - Dimension may vary to fit field condition.
 - Stakes shall be spaced at 8'-0" maximum and shall be positioned on downstream side of fence.
 - Stakes to overlap and fence fabric to fold around reach stake one full turn. Secure fabric to stake with 4 staples.
 - Stakes shall be driven tightly together to prevent potential flow-through of sediment at joint. The tops of the stakes shall be secured with wire.
 - For end stake, fence fabric shall be folded around two stakes one full turn and secured with 4 staples.
 - Minimum 4 staples per stake. Dimensions shown are typical.
 - Cross barriers shall be a minimum of 1/3 and a maximum of 1/2 the height of the linear barrier.
 - Maintenance openings shall be constructed in a manner to ensure sediment remains behind silt fence.
 - Joining sections shall not be placed at sump locations.
 - Sandbag rows and layers shall be offset to eliminate gaps.

E2 **SILT FENCE SE-1**
Scale: NTS



- NOTES**
- ACTUAL LAYOUT DETERMINED IN FIELD.
 - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

E3 **CONCRETE WASTE MANAGEMENT WM-8**
Scale: NTS



E4 **STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1**
Scale: NTS

EROSION AND SEDIMENT CONTROL

SCALE: 1" = 30'

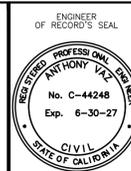
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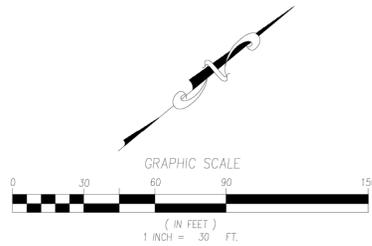
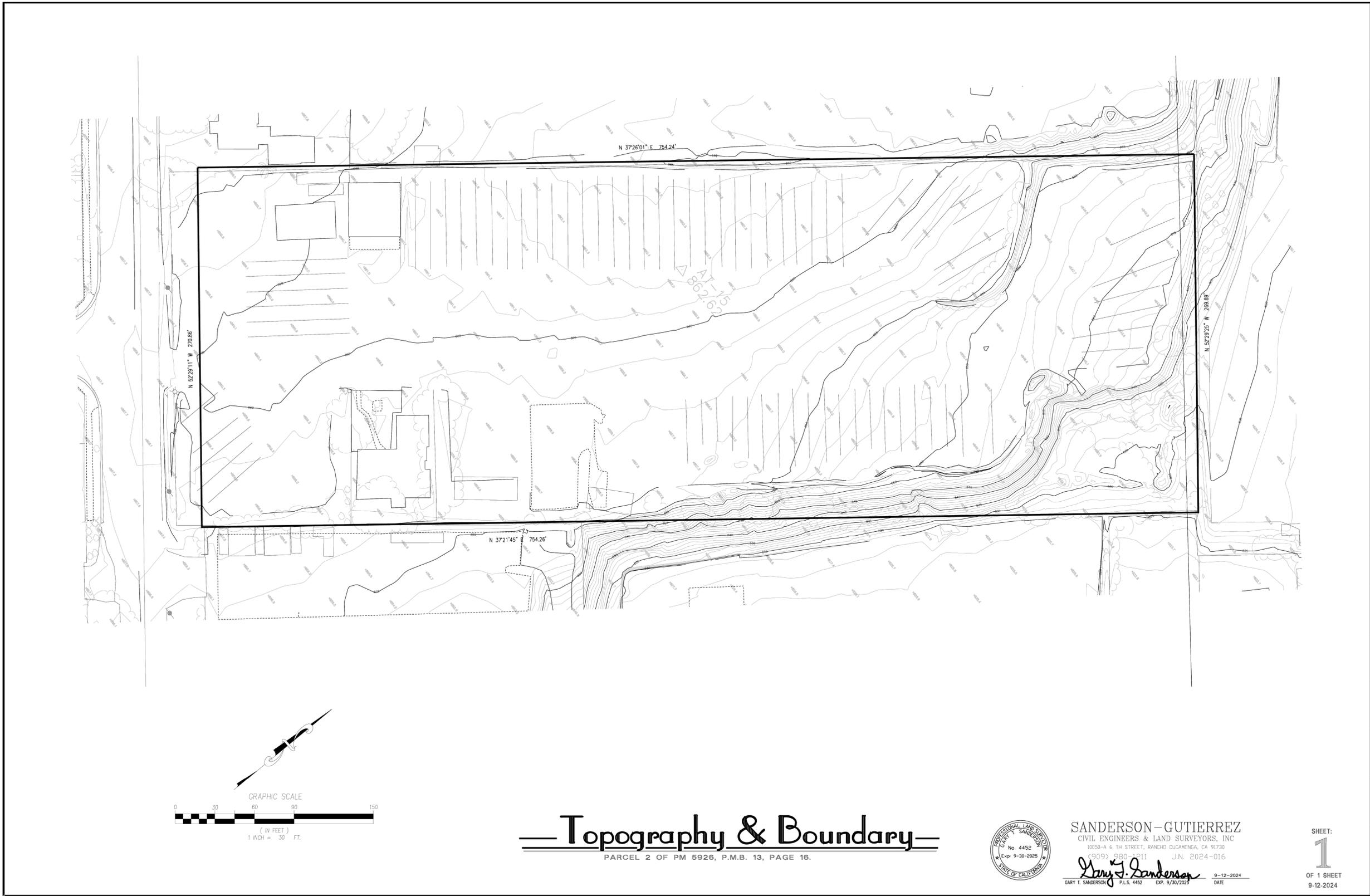
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ENGINEER OF RECORD'S SEAL
INSIGHT ENGINEERING, INC.
4345 E. Lowell St., Suite M Ontario, CA 91761
714-404-2753 | 951-817-1212 | tony@iengr.com
PLANS PREPARED UNDER THE SUPERVISION OF:
NAME: ANTHONY VAZ
R.C.E. # C-44248 (EXP. 06/30/2027)
DATE: 12/1/2025

CITY OF JURUPA VALLEY
EROSION AND SEDIMENT CONTROL
EXECUTIVE COACH BUILDERS INC.
5465-5467 28TH ST.
JURUPA VALLEY, CA 92509
FOR: _____ W.O. _____ CITY I. D. NO. _____

ACCT. NO. _____
SHEET **7.1** OF **10**



Topography & Boundary

PARCEL 2 OF PM 5926, P.M.B. 13, PAGE 16.



SANDERSON-GUTIERREZ
 CIVIL ENGINEERS & LAND SURVEYORS, INC.
 10050-A 6 TH STREET, RANCHO CUCAMUNGUA, CA 91730
 (909) 980-1211 J.N. 2024-016
 GARY T. SANDERSON P.L.S. 4452 EXP. 9/30/2025 DATE 9-12-2024

SHEET:
1
 OF 1 SHEET
 9-12-2024

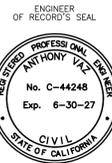
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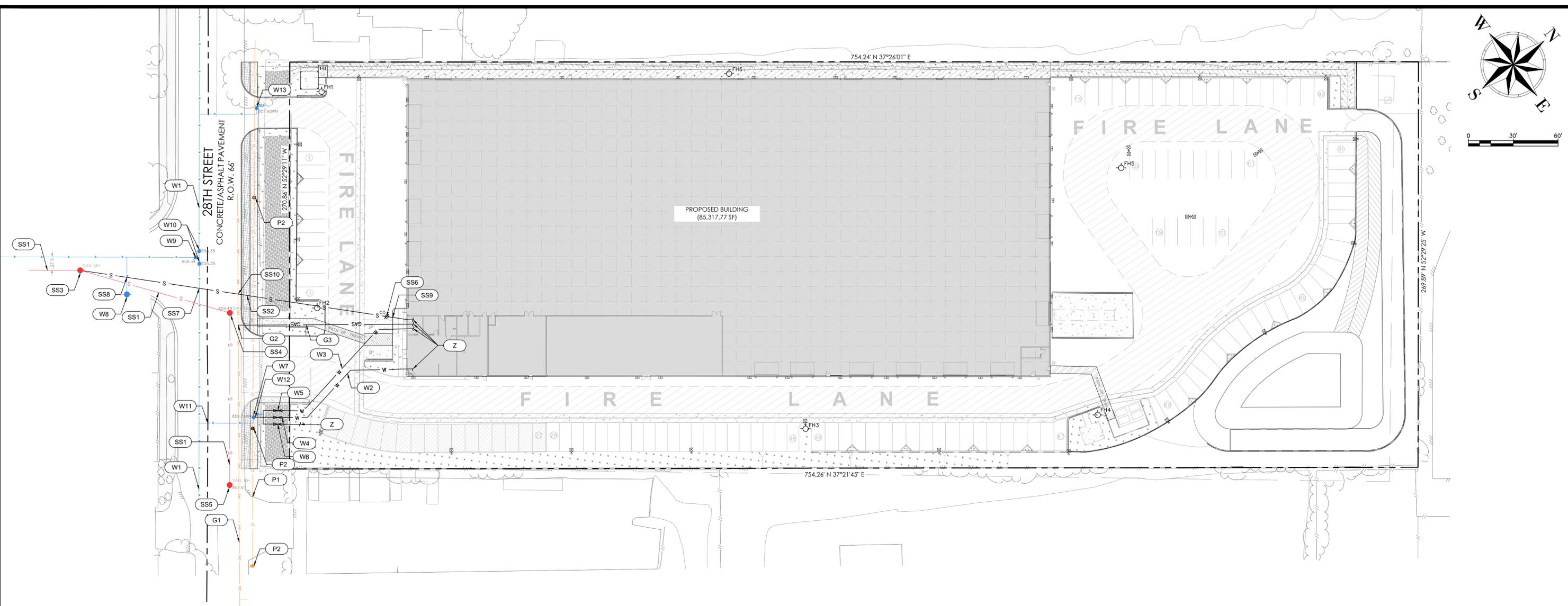
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 PLANS PREPARED UNDER THE SUPERVISION OF:
 ANTHONY VAZ
 NAME: ANTHONY VAZ
 R.C.E. # C-44248 (EXP. 06/30/2027)

CITY OF JURUPA VALLEY
 TOPOGRAPHIC SURVEY MAP
 EXECUTIVE COACH BUILDERS INC.
 5465-5467 28TH ST.
 JURUPA VALLEY, CA 92509

ACCT. NO.
 SHEET **8** OF **10**
 CITY I. D. NO.



KEYED PLAN NOTES:

- W1** EXISTING WATER LINE 8" A.C. PIPE
- W2** PROPOSED 6" FIRE LINE
- W3** PROPOSED 2" WATER LINE (DOMESTIC)
- W4** PROPOSED 6" BACKFLOW PREVENTER (FIRE)
- W5** PROPOSED 2" BACKFLOW PREVENTER (DOMESTIC)
- W6** PROPOSED 1" BACKFLOW PREVENTER (IRRIGATION)
- W7** EXISTING WATER METER 859.74' (F.T.V. SIZE)
- W8** EXISTING FIRE HYDRANT
- W9** EXISTING 6" GATE VALVE
- W10** EXISTING 8" GATE VALVE
- W11** EXISTING WATER LINE (F.T.V. SIZE)
- W12** CONNECTED TO EXISTING WATER METER
- W13** EXISTING WATER METER 857.60' (F.T.V. SIZE)
- SS1** EXISTING 6" SANITARY FORCE MAIN
- SS2** PROPOSED 6" SANITARY LINE @ 1.63%
- SS3** EXISTING SANITARY MANHOLE 850.98'
- SS4** EXISTING SANITARY MANHOLE 859.49'
- SS5** EXISTING SANITARY MANHOLE 857.67'
- SS6** PROPOSED IN-LINE CLEANOUT
- SS7** EXT. WATER LINE INV. TO BE VERIFIED PROP. SAN LINE INV. 852.30'
- SS8** EXT. WATER LINE INV. TO BE VERIFIED PROP. SAN LINE INV. 851.50'
- SS9** INV. 854.43' COVER = 1"
- SS10** EXT. GAS LINE INV. TO BE VERIFIED PROP. SAN LINE INV. 852.73'
- G1** EXISTING GAS LINE (F.T.V. SIZE)
- G2** CONNECTED TO EXISTING GAS LINE BRANCH SADDLE (F.T.V. SIZE)
- G3** PROPOSED 2" GAS LINE
- P1** EXISTING OVERHEAD POWER LINES (F.T.V. SIZE)
- P2** EXISTING POWER POLE (F.T.V. SIZE)
- Z** SEE PLUMBING PLAN BY OTHERS FOR CONTINUATION

UTILITY NOTES

- 1 APPLICANT SHALL PLACE ALL UTILITIES SERVING, WITHIN AND ALONG THE PROJECT FRONTAGE UNDERGROUND, INCLUDING OVERHEAD POWERLINES UNDER 34.5 kv.
- 2 APPLICANT SHALL PROVIDE STREETLIGHTS ALONG THE PROJECT FRONTAGE, EXISTING STREETLIGHTS (IF ANY) AT THE FRONTAGE AND IMMEDIATELY ADJACENT TO THE PROJECT LIMITS THAT DO NOT MEET CURRENT STANDARDS (LED) MAY BE REQUIRED TO BE MODIFIED TO LED.

UTILITY PLAN
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CITY OF JURUPA VALLEY
PLANNING AND DEVELOPMENT DEPARTMENT

8930 LIMONITE AVE.
JURUPA VALLEY, CA 92509
TEL: (951) 332-6464
EMAIL: ENGINEERING@JURUPAVALLEY.ORG

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PLANS PREPARED UNDER THE SUPERVISION OF:

NAME: R.C.E. # C-44248 (EXP. 06/30/2027) DATE: 12/01/2025

CITY OF JURUPA VALLEY

UTILITY PLAN
EXECUTIVE COACH BUILDERS INC.
5465-5467 28TH ST.
JURUPA VALLEY, CA 92509

ACCT. NO. _____

SHEET **10** OF **10**

CITY I. D. NO. _____

ATTACHMENT 3
PROJECT NARRATIVE

For over 40 years, Executive Coach Builders has been the premier manufacturer of luxury limousines and buses. Based in Springfield, Missouri, they are dedicated to crafting high-quality vehicles that are backed by exceptional warranties and after-sales service. The vehicles are QVM-certified, proudly made in the USA, and customized to meet the client's unique needs—all while being built to endure for the long haul.

With over 45 years of manufacturing expertise, Executive Coach Builders continues to redefine luxury transportation, setting the standard for innovation, quality, and reliability. ECB is planning to expand their facility in the City of Jarupa Valley.

The enclosed project involves a detailed conceptual site plan for Executive Coach Builders, located at 5467 28th Street, Jurupa Valley, CA. The project covers a total area of 4.68 acres (203,861 square feet) and is designed to support a large-scale manufacturing facility specializing in luxury transportation vehicles.

Key Highlights:

1. Building Footprint:

- The total building area spans 85,000 square feet, including office space of 3,052 square feet.
- The facility is organized into multiple sections such as a metal shop, body shop, fiberglass shop, wiring, assembly areas, and a break room.

2. Site Composition:

- **Landscaping:** Covers approximately 0.8 acres (36,650 square feet), meeting a 25% landscape requirement for the site.
- **Pavement Area:** Allocates 1.5 acres (67,725 square feet) for driveways and parking areas.

3. Parking and Accessibility:

- 109 regular parking spaces and 2 designated accessible parking spaces.
- Pathways and entry points designed to ensure handicap accessibility.

4. Infrastructure:

- Retaining walls and block walls are incorporated to manage elevation changes and define property boundaries.
- Existing city sidewalks are integrated, and additional sidewalks are planned to improve accessibility.
- A concrete driveway and sliding gates provide secure vehicle access.

5. Utilities and Stormwater Management:

- Includes provisions for stormwater basins for effective drainage.

6. Design Considerations:

- Fire lanes with clear dimensions ensure emergency accessibility.
- Placement of gates, trash enclosures, and storage areas optimizes site functionality.
- Compliance with city and state regulations, including ROW (Right-of-Way) standards and curb and gutter designs.

This project demonstrates a comprehensive approach to functional, sustainable, and regulatory-compliant site development tailored to the needs of a high-end manufacturing facility.